WAIMAKARIRI DISTRICT COUNCIL

Application No. 2610

215 HIGH ST., RANGIORA
PRIVATE BAG, RANGIORA
RANGIORA PHONE (03) 313-6136, 313-8024
FAX (03) 313-4432
Service Centres: 176 Williams St., Kaiapoi. Phone (03) 327-8039 Fax (03) 327-8752
34 Main St., Oxford. Phone (03) 312-4014 Fax (03) 312-4833

BUILDING PERMIT APPLICATION

Dr 2429

IMPORTANT: PLEASE READ INSTRUCTIONS ON PAGE 3 AND COMPLETE THE FOLLOWING INFORMATION. PLEASE PRINT IN BLOCK LETTERS.

OWNER

(Note: Permit will be posted to owner)

Name: RONALD BARRYMORE FROST

Mailing Address: P.O. BOX 13085 CHRISTCHURCH

Phone No. Pvt: (03) 3125 645 Bus: (03) 664439

BUILDER

Name: A. W. RILEY

Mailing Address: P.O. BOX 40 CUST.

Phone No. Pvt: CUST 3125636. Bus:

SITE INFORMATION

Street No.: 186 SUMMERHILL RD

Road or Street Name:

Locality: CUST

LEGAL DESCRIPTION OF SITE

Valuation Roll No.: 021580.025.00

Lot: BLKS VI VII D.P.

Rural Section: 7842 Survey District: MAIRARI

Area of Site: Hectares / Sq Metres: 42.0871

DESCRIPTION OF PROPOSED WORK AND INTENDED USE

WORKSHOP IMPLEMENT SHED

FLOOR AREA OF PROPOSED WORK

Sq. Metres: 91.80

VALUE OF WORK: CONTRACT PRICE (AT CURRENT MARKET RATES)

Building	8500	00
Plumbing		
Drainage		
TOTAL $	8500	00

NATURE OF PERMIT (TICK BOX)

- [ ] NEW BUILDING — exclude domestic garages & domestic outbuildings
- [ ] FOUNDATIONS ONLY
- [ ] ANY BUILDINGS ALTERED, REPAIRED EXTENDED, CONVERTED, RESITED.
- [ ] NEW CONSTRUCTION OTHER THAN BUILDINGS — include demolitions
- [x] NEW DOMESTIC GARAGES & DOMESTIC OUTBUILDINGS.

NATURE OF GROUND AND SUBSOIL ON WHICH BUILDING IS LOCATED

CLAY SUBSOIL.

APPLICANT

Name: A. W RILEY Address: P.O. BOX 40 CUST.

Phone: CUST 3125636 Role of Applicant: Builder SIGNATURE: Anthony W Riley

PERMIT FEES

FOR OFFICE USE ONLY

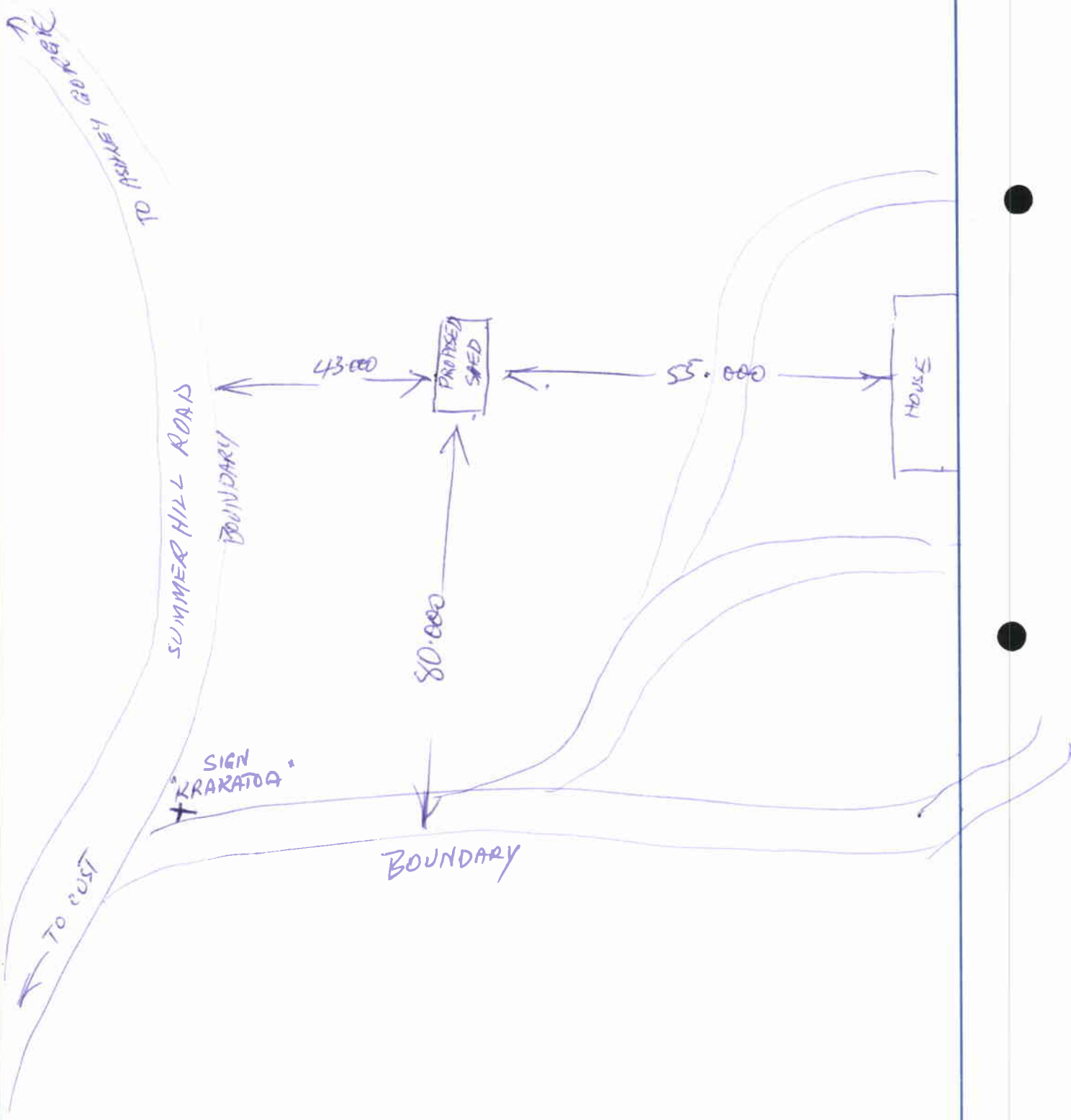
WORK	FEE	INVOICE No.	RECEIPT No.	PERMIT No.
BUILDING	84.00.	16858	117812	2610
PLUMBING			24/12/91	9-1-92
DRAINAGE				
BUILDING RESEARCH LEVY				
VEHICLE CROSSING				
WATER CONNECTION				
OTHER (SPECIFY)				
STREET DAMAGE DEPOSIT				
TOTAL PAYABLE	$ 84.00			

150126009652
2158002500

TRIM Record Number

LOCALITY MAP SHOWING LOCATION OF PROPERTY:

(ie. DIRECTIONS TO PROPERTY ON WHICH BUILDING WORKS ARE BEING CARRIED OUT)



THIS IS NOT ACCEPTED AS A SITE PLAN:

BUILDING PERMIT AUTHORITY

(Office Copy)

WAIMAKIRIRI DISTRICT COUNCIL

No. 91/2610

Receipt No. 117812

Date Permit Issued 09/01/92

OWNER

Name: FROST, RB, MR

Mailing Address: P O BOX 13085
CHRISTCHURCH

BUILDER

Name: MR A W RILEY

Mailing Address: P O BOX 40, CUST

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No.: 186

Street Name: SUMMERHILL RD

Town/District: CUST

Riding: OXFORD

LEGAL DESCRIPTION

Valuation Roll No.: 21580-025

Lot: RS

D.P.: 7842

Section: VI

Block: MAIRAKI

Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

CONSTRUCT AN IMPLEMENT SHED AND WORKSHOP

FLOOR AREA

Whole Sq. Metres: 92

DWELLING UNITS

Number Erected: 0

ESTIMATED VALUES $		
	Building	8,500.00
	Plumbing	0.00
	Drainage	0.00
TOTAL (INCLUDING G.S.T.)		8,500.00

NATURE OF PERMIT

1 Enter Number in Box

1. NEW BUILDING – exclude domestic garages and domestic outbuildings
2. FOUNDATIONS ONLY
3. ALTERED, REPAIRED, EXTENDED – include conversions and resited buildings
4. NEW CONSTRUCTION OTHER THAN BUILDINGS – include demolitions
5. DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS
6. SMALL CHIMNEYS, APPLIANCES AND FIREPLACES

24 HOURS NOTICE MUST BE GIVEN
Prior to pouring ANY concrete
Prior to laying ANY floor
Prior to fixing ANY wall or ceiling lining
On completion of the Building provision must be made to allow the Building Inspector access.
PLUMBING AND DRAINAGE:
SLAB; waste/drainage pipes installed under concrete slab
PRELINE; water pipe tested and insulated
FINAL; when plumbing/drainage work is completed

PLEASE REFER TO YOUR TAX INVOICE FOR THE FEES PAID AND THE CONDITIONS OF PERMIT

Authorised Officer ..G. P. Kerber.....

BC/LA/01

RANGIORA DISTRICT COUNCIL — RATE INSTALMENT NOTICE

VALUATION ROLL No.

021580.025.00

FOR THE PERIOD 1 APRIL 1984 TO 31 MARCH 1985

NAME & ADDRESS OF RATEPAYER

FROST RONALD B

SUMMERHILL RD
RANGIORA RD I

LEGAL DESCRIPTION OF PROPERTY

RS 7842 BLKS VI VII
MAIRAKI SD

CUST

INSTALMENT NUMBER
1

POSTAL ADDRESS: THE COUNTY CLERK, RANGIORA DISTRICT COUNCIL, P.O. BOX 9, RANGIORA

OFFICE HOURS: MON.–FRI. 8.30 a.m. TO 5.00 p.m.

TELEPHONE: 8024

Rates as shown below are due and payable by you as Owner or Occupier to the Rangiora District Council on the due date and must be paid on or before the penalty date, both dates being specified hereunder. Payment is to be made at the Council Office, Kippenberger Avenue, Rangiora.

A. A. H. McKENZIE,
County Clerk.

LAND VALUE	CAPITAL VALUE	AREA (Hectares)
134400	192400	42.0871

DUE DATE FOR THIS INSTALMENT	LAST DAY FOR PAYMENT BEFORE 10% PENALTY
1st July 1984	14th August 1984

CATEGORY	VALUE UNITS/AREA	RATE	AMOUNT	DESCRIPTION OF RATES
000	134400 LV	.3371c	453.06	GENERAL RATE
701			35.00	UNIFORM GEN. CHARGE
202	192400 CV	.021752c	41.85	NCCB ADMINISTRATION
520	2	$ 20.00	40.00	CUST COMMUNITY CNTR
402	42.0871 ha	35.8069c	15.07	ASHLEY PDB - Class C

RATES TOTAL THIS YEAR: 584.98

THIS INSTALMENT	TOTAL CHARGED TO DATE	PREVIOUS YEAR'S ARREARS	PAYMENTS AND ADJUSTMENTS
292.49	292.49	607.65	607.65
		TOTAL TO CLEAR ACCOUNT FOR YEAR	584.98

THIS INSTALMENT NOW DUE
292.49

DISCOUNT
22.65

Deduct discount above only if payment is made in full by: 23/7/84

THIS INSTALMENT NOW DUE	DISCOUNT DUE ON TOTAL RATES ONLY
292.49	22.65

OR PAY 584.98 TO CLEAR ACCOUNT

.00 .00

DATE

AMOUNT RECEIVED

OFFICIAL RECEIPT AS PER CASH REGISTER IMPRINT

RANGIORA DISTRICT COUNCIL
P.O. BOX 9, RANGIORA

REFERENCE
FROST RONALD B
021580.025.00

INSTALMENT No. 1

ATTACH THIS PORTION TO YOUR REMITTANCE

PLEASE NOTE ANY CHANGE OF ADDRESS BELOW

PAYMENT ATTACHED $

PAYMENT OPTIONS

1. **To Pay your Rates by Instalment**

   The due dates and penalty dates for each of the two instalments are:—

INSTALMENT No.	DUE DATE	PENALTY OF 10% APPLIES IF YOU DO NOT PAY BY
1	1st July	14th August
2	1st January	14th February

   Both instalments are based on one half (½) of the current year's rates.

2. **To Pay your Rates in One Amount**

   Under this option a discount of 5% of the General Rate and the Differential General Rate will be allowed if the **total rates are paid by the 23rd day of July.**

3. **Other Payments**

   Council will continue to accept regular smaller payments, but ratepayers should note that any unpaid balance of any instalment will incur the penalty.

EXPLANATION OF RATES

1. **Rates Total this Year**

   This amount is the rates struck for the current year and will be printed on both instalments.

2. **This Instalment Now Due**

   Where payment is being made by instalment, this is the amount which must be paid before the penalty date.

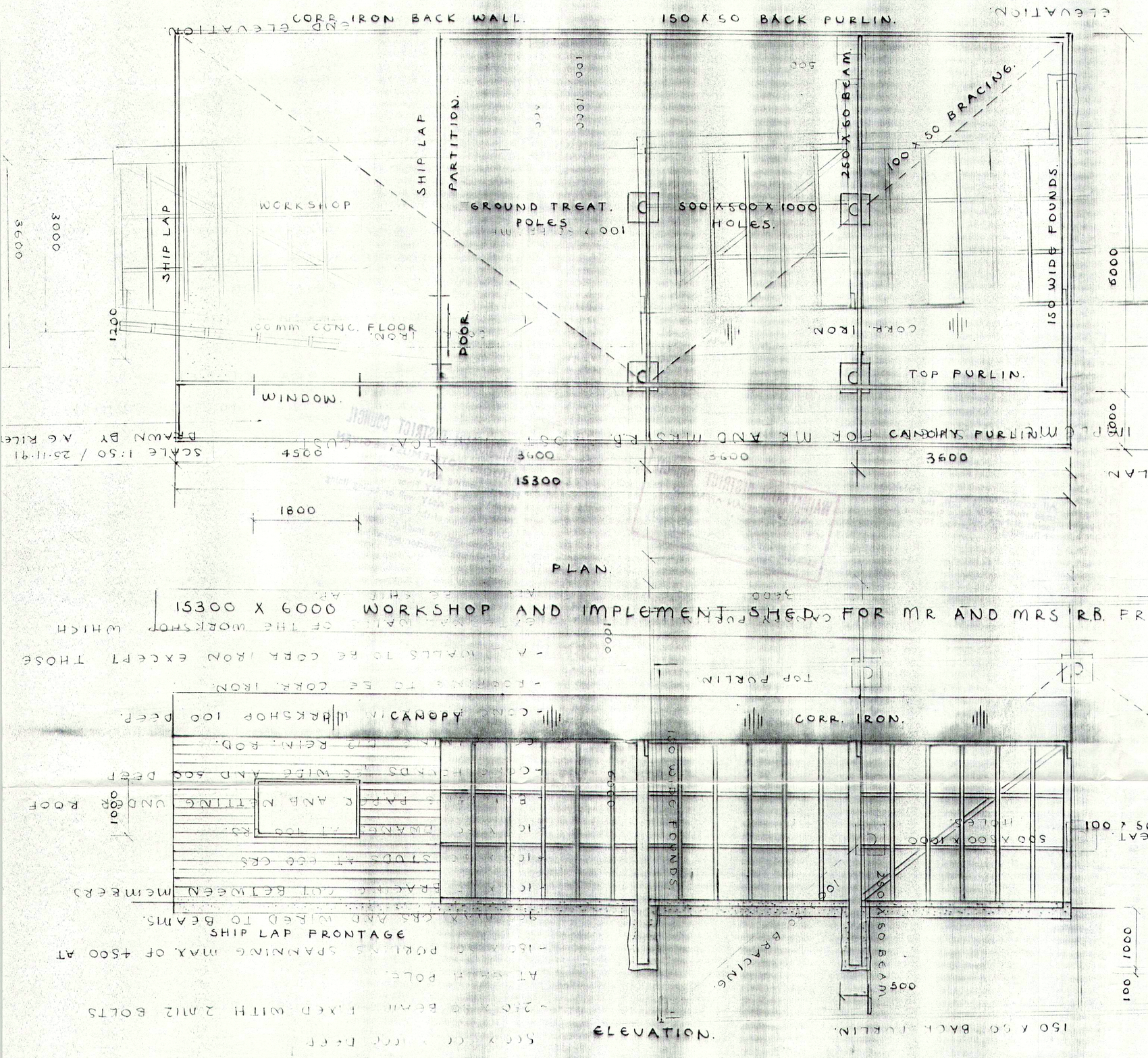
3. **Total to Clear Account**

   (i) Where payment is being made in one amount this is the amount to pay by the rebate date shown on the first instalment (15th August).

   (ii) When printed on the second instalment, this is the amount left to pay the balance of rates owing.

Penalty Dates Will Be Strictly Adhered to

SALE OR TRANSFER OF PROPERTY: Section 49 of the Rating Act 1967 requires every owner of property who sells or transfers the property to give notice to the local authority and Valuer-General in writing within one month, together with the name and address of the purchaser or transferee AND, UNTIL HE GIVES SUCH NOTICE, HE SHALL REMAIN LIABLE FOR ALL RATES PAYABLE IN RESPECT OF THE PROPERTY. Notice shall not release him from liability to pay any rates due at the time it is given. (Action under this section is usually undertaken by the vendor's solicitor.)

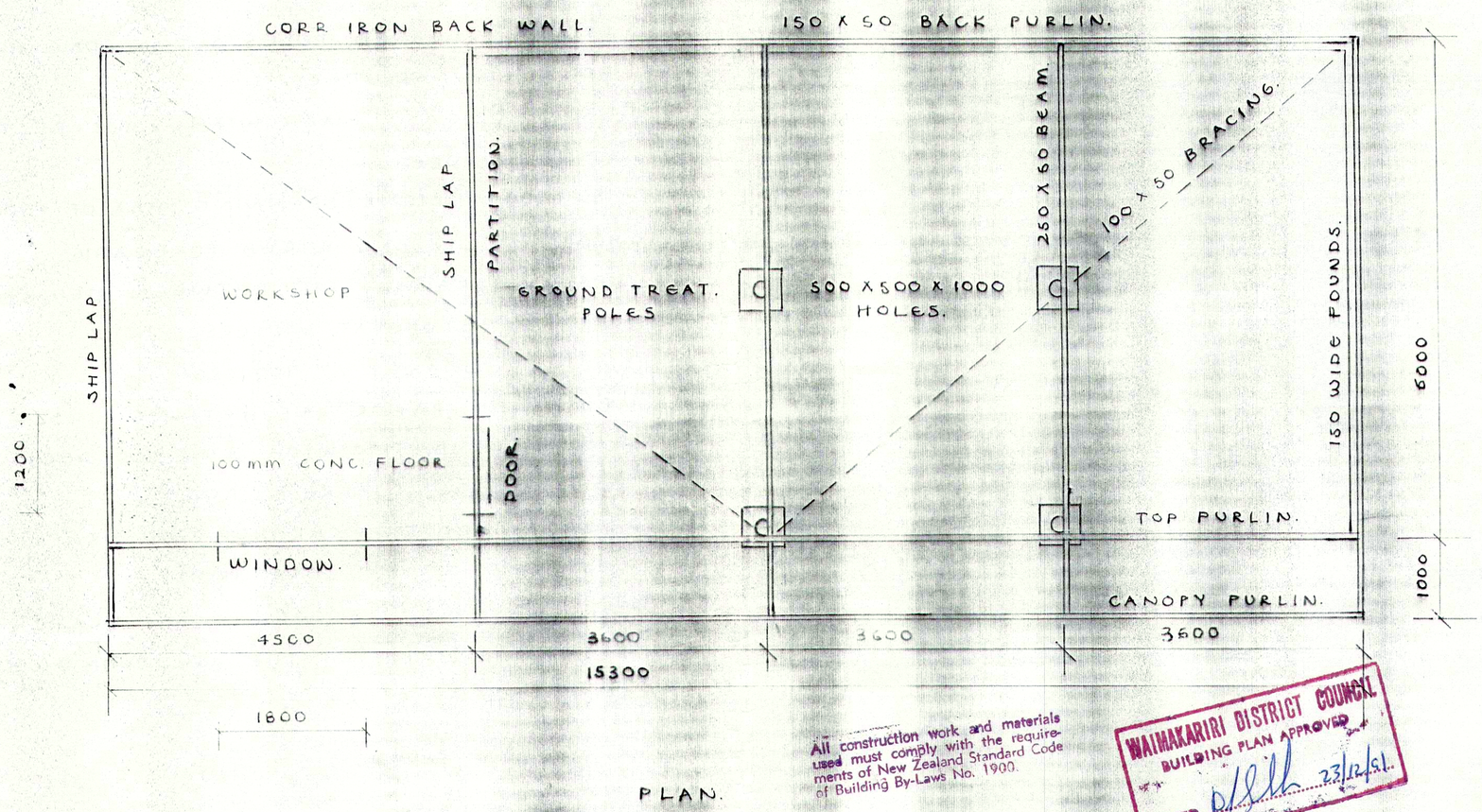


15300 X 6000 WORKSHOP AND IMPLEMENT SHED FOR MR AND MRS R.B. FROST 'KRAKATOA' CUST.

SCALE 1:50 / 25.11.91
DRAWN BY A G RILEY

SPECIFICATIONS.

- GROUND TREATED POLES SET IN CONC HOLES 500 X 500 X 1000 DEEP
- 250 X 50 BEAMS FIXED WITH 2 M12 BOLTS AT EACH POLE.
- 150 X 50 PURLINS SPANNING MAX. OF 4500 AT 900 MAX CRS AND WIRED TO BEAMS.
- 100 X 50 BRACING CUT BETWEEN MEMBERS.
- 100 X 50 STUDS AT 600 CRS
- 100 X 50 DWANGS AT 900 CRS.
- BUILDING PAPER AND NETTING UNDER ROOF
- CONC FOUNDS 150 WIDE AND 500 DEEP CONTAINING D12 REIN. ROD.
- CONC FLOOR IN WORKSHOP 100 DEEP.
- ROOFING TO BE CORR. IRON.
- ALL WALLS TO BE CORR IRON EXCEPT THOSE EXTERNAL WALLS OF THE WORKSHOP WHICH ARE TO BE SHIP LAP.



PLAN.

All construction work and materials used must comply with the requirements of New Zealand Standard Code of Building By-Laws No. 1900.

WAIMAKARIRI DISTRICT COUNCIL
BUILDING PLAN APPROVED
SIGNED 23/12/91.

WAIMAKARIRI DISTRICT COUNCIL
24 HOURS NOTICE MUST BE GIVEN
Prior to pouring ANY concrete
Prior to laying ANY Floor
Prior to fixing ANY wall or ceiling lining
On completion of the Building
provision must be made to allow the building Inspector access.

SPECIFICATIONS.

- GROUND TREATED POLES SET IN CONC HOLES 500 X 500 X 1000 DEEP
- 250 X 50 BEAMS FIXED WITH 2 M12 BOLTS AT EACH POLE.
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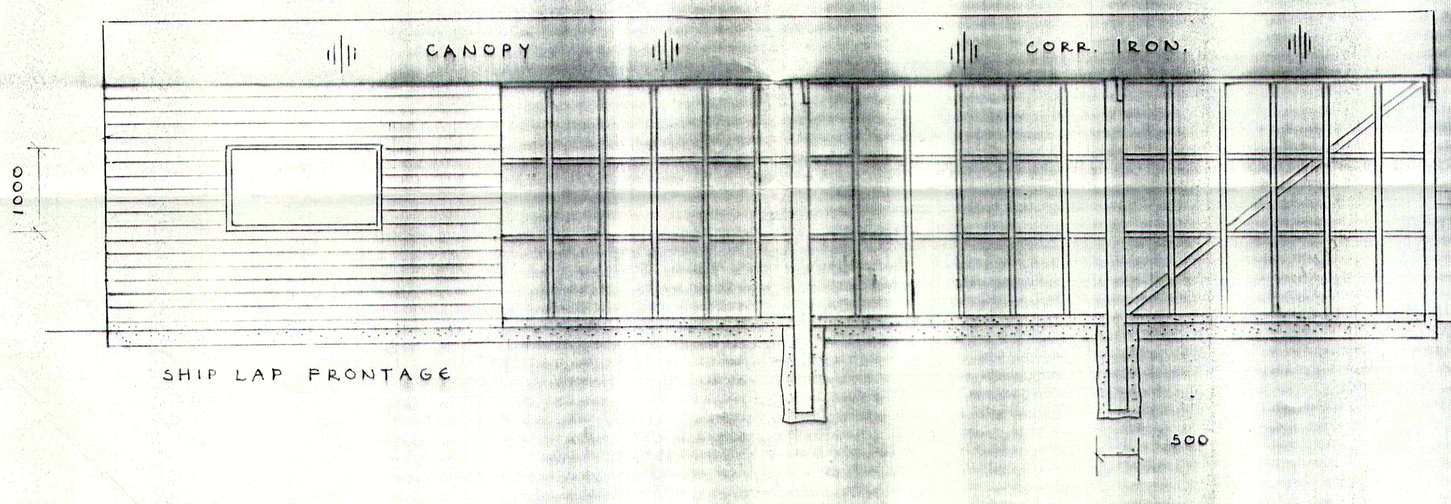
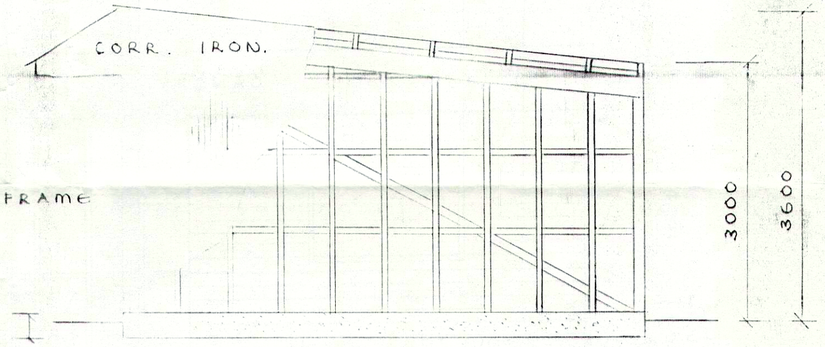
15300 X 6000 WORKSHOP AND IMPLEMENT SHED FOR MR AND MRS R.B. FROST 'KRAKATOA' CUST.

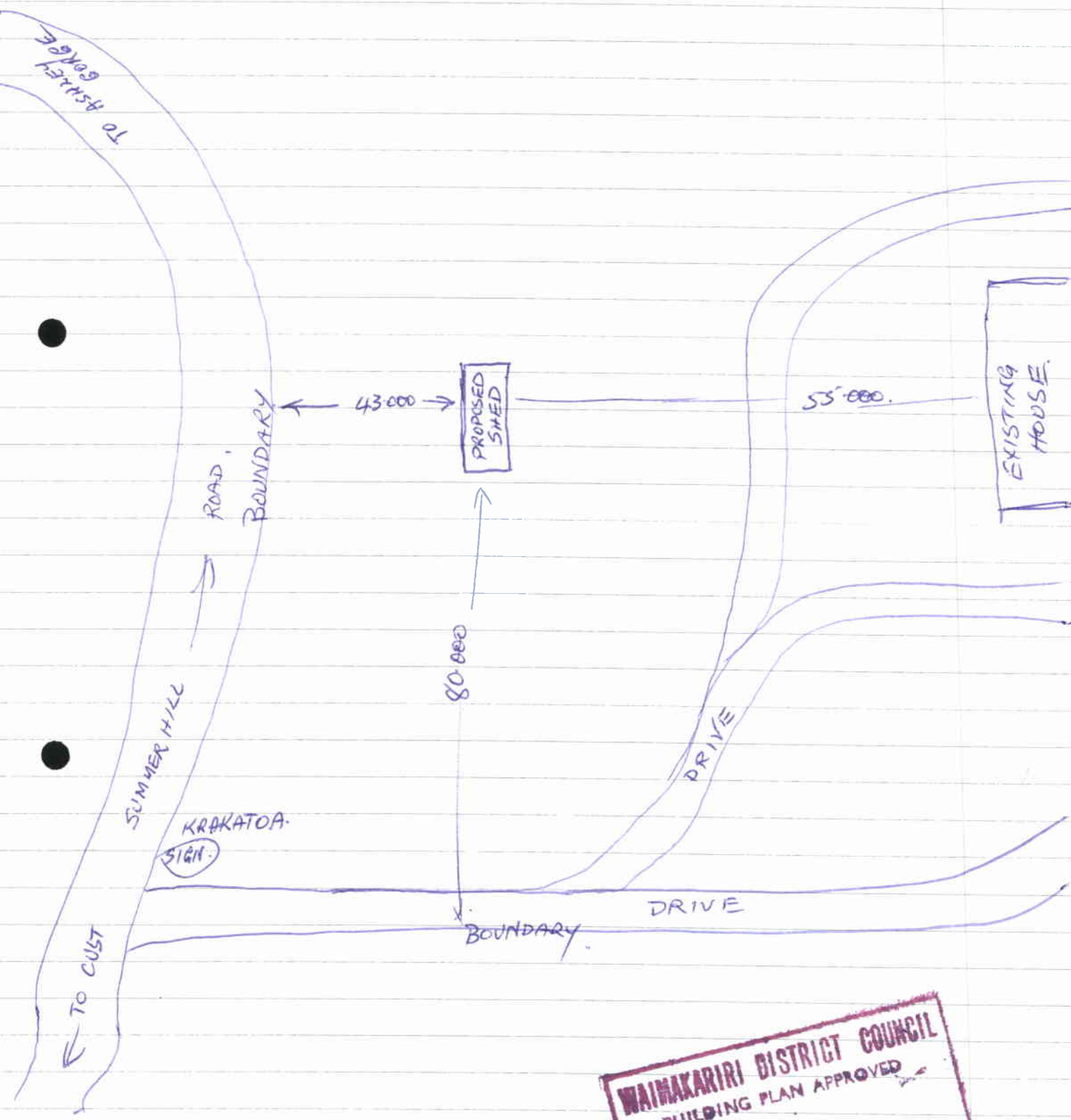
SCALE 1:50 / 25·11·91
DRAWN BY A G RILEY



ELEVATION.



END ELEVATION.



WAIMAKARIRI DISTRICT COUNCIL
BUILDING PLAN APPROVED
SIGNED .....

NATIONAL STATISTICS BOARD

INSTRUCTIONS FOR OBTAINING A BUILDING PERMIT.

1. PLANS TO BE SUPPLIED ARE AS FOLLOWS:

TYPE OF BUILDING	TYPE OF PLANS	INFORMATION
(a) SHEDS—DECKS GARAGES CARPORTS ADDITIONS FARM BUILDINGS, ETC	FLOOR PLAN TWO ELEVATIONS CROSS SECTION SITE PLAN	SHOW EXISTING BUILDINGS, CONSTRUCTION DETAILS AND ALL MATERIALS USED
(b) DWELLINGS INDUSTRIAL BUILDINGS COMMERCIAL BUILDINGS	FLOOR PLAN/S FOUR ELEVATIONS CROSS SECTIONS SITE AND DRAINAGE PLAN FOUNDATION DETAILS	SHOW ALL CONSTRUCTION DETAILS, MATERIALS USED, PROVIDE SPECIFICATIONS, WALL BRACING CALCULATIONS ETC.

(c) ALL PLANS AND SPECIFICATIONS ARE TO BE SUPPLIED IN DUPLICATE
(d) ALL PLANS MUST BE DRAWN TO METRIC SCALES AND SIGNED BY THE DESIGNER
(e) PENCIL SKETCHES WILL NOT BE ACCEPTED
(f) PLUMBING AND DRAINAGE APPLICATIONS SIGNED BY THE REGISTERED TRADESMAN MUST BE SUBMITTED WITH THE PLANS
(g) A CURRENT SEARCH COPY OF THE CERTIFICATE OF TITLE IS TO ACCOMPANY ALL APPLICATIONS FOR NEW BUILDINGS IN (b) ABOVE

NOTE: PROPERLY COMPLETED APPLICATIONS CAN BE PROCESSED PROMPTLY BY COUNCIL.

2: **FEES.**
A **FEE DEPOSIT** WILL BE TAKEN WITH THE SUBMISSION OF THE BUILDING PERMIT APPLICATION. THE **BALANCE OF THE FEE** IS PAYABLE UPON APPROVAL OF THE APPLICATION. A TAX INVOICE WILL BE SENT WITH DETAILS AT THIS TIME. **NO CONSTRUCTION IS TO COMMENCE** UNTIL THE BUILDING PERMIT IS UPLIFTED.

3. **ALL BUILDING SITES.**
(a) BOUNDARY PEGS TO BE LOCATED AND FLAGGED.
(b) SITES TO BE MARKED WITH EITHER OWNER'S OR BUILDER'S NAME BEFORE LODGING BUILDING PERMIT APPLICATION.

4. **LOCATION SKETCH.** (TO ENABLE INSPECTOR TO FIND PROPERTY)
PLEASE ILLUSTRATE IN SPACE PROVIDED ON PAGE 2, A BRIEF PLAN SHOWING LOCATION OF THE PROPERTY CONCERNED.

5. **VEHICLE ENTRANCE WAYS OVER THE ROAD RESERVE.**
ALL NEW VEHICLE ENTRANCES IN RESIDENTIAL ZONES MUST BE INSTALLED BY COUNCIL. THE **FEE** IS TO BE PAID BY THE APPLICANT WITH THE BUILDING PERMIT. AN APPLICATION FORM CAN BE OBTAINED FROM THE COUNCIL OFFICE. VEHICLE ENTRANCES IN ALL OTHER ZONES MUST BE APPROVED BY THE DISTRICT ENGINEER.

6. **TOWN PLANNING.**
THE APPLICANT SHOULD CONFIRM THAT ANY BUILDING PROPOSED IS IN ACCORDANCE WITH THE LAND USE PROVISIONS, AND BULK AND LOCATION CONTROLS CONTAINED IN THE COUNCIL'S OPERATIVE DISTRICT SCHEME.

7. **ENGINEERING CALCULATIONS.**
WHERE SPECIFIC DESIGN IS REQUIRED, COMPLETE DETAILS ARE TO BE SUBMITTED WITH THE BUILDING PERMIT AND THE PLANS SIGNED BY THE ENGINEER. A **DESIGN CERTIFICATE** IS TO BE SUBMITTED TO COVER ALL AREAS REQUIRING SPECIFIC DESIGN.

8. **PLUMBING AND DRAINAGE.**
(a) PLANS OF PROPOSED DRAINAGE LAYOUT MUST BE SUBMITTED WHEN NEW DRAINAGE IS REQUIRED TO SERVE A BUILDING. (SCALE 1:100)
(b) ALL WORK MUST BE CARRIED OUT BY A REGISTERED TRADESMAN
(c) IF A SEPTIC TANK IS TO BE INSTALLED THE SITE MUST BE INSPECTED BY THE PLUMBING AND DRAINAGE INSPECTOR.
(c) IT IS IMPORTANT THAT **BUILDINGS SHOULD NOT BE OCCUPIED** BEFORE COMPLETE PLUMBING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED AND APPROVED

	OFFICER	DATE
APPLICATION RECEIVED ON:	[illegible]	12.12.91
TOWN PLANNING REQUIREMENTS: YES/NO		
(a) DISPENSATION REQUIRED: YES/NO	[illegible]	16-12-91
(b) NON-NOTIFIED APPLICATION APPROVED.		
(c) NOTIFIED APPLICATION APPROVED.		

DISTRICT SCHEME ZONING: Rural

APPLICATION APPROVED BY:

BUILDING INSPECTOR	[illegible]	23/12/91.
PLUMBING AND DRAINAGE INSPECTOR		
HEALTH INSPECTOR		
DESIGN ENGINEER		
DISTRICT INSPECTOR	[illegible]	23/12/91
ACTIONED BY TECHNICAL CLERK		

PERMIT ISSUED SUBJECT TO FOLLOWING CONDITIONS

No letter required.

DATE	COMMENTS BY OFFICER
	Duplicate to Bldr. 6/1/92

Wilson Bros Print, Rangiora

SANITARY SURVEY FOR DOMESTIC WATER SUPPLY

VALUATION REFERENCE : _____
GRID REFERENCE : 574 699
DATE : _____
TIME : _____
NAME OF OWNER : _____
ADDRESS : _____

R B Frost
SUmmerhill Rd
CUST
RD1

21580-25 RN516

NAME OF OCCUPIER
(if different from above) _____

BACTERIOLOGICAL SAMPLE NO : _____ **DATE :** 26/6/88.
TIME : 1320

WATER TANK CONSTRUCTION AND CONDITION

CONCRETE — Butanol — PLASTIC — GALVANISED
VERY GOOD — Pillow — AVERAGE — POOR

TANK LID CONDITION

GOOD FIT — AVERAGE — POOR

PIPEWORK CONDITION

VERY GOOD — AVERAGE — POOR

WELL

Depth (approx) 55' Measured pH 6.7.
Is liner above ground? YES/~~NO~~ 200 mm mm above

SEPTIC TANK DISPOSAL

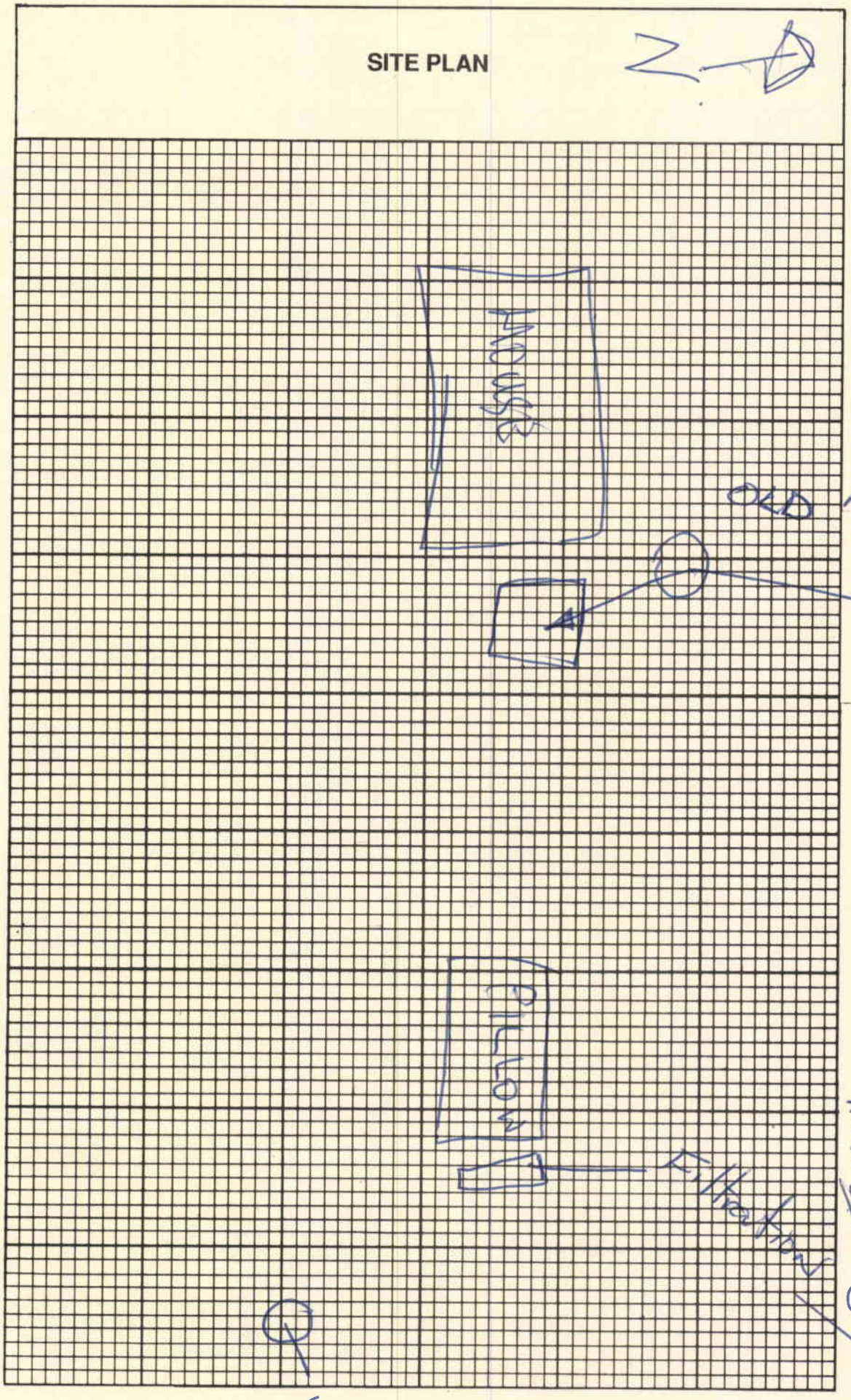
Distance from well 70+ upstream/downstream
Has well ever dried up? ~~YES/NO~~ No
What alternative water is used for domestic supply at times of low water _____
supplemented by water from well.

Within 50 metres of well is there any of the following :
Offal pit ~~YES~~/NO
Stock yards ~~YES~~/NO
Other _____
Comments :
Rain water collection in extreme times
supplemented by well.

Office Use Only

Results		Bacteriological		pH
Labno 3334	PC 92		FC 9	6.7

SITE PLAN


N
HOUSE
OLD
NOT USED
water tank
PILLOW
Filter Tank
3 story filter
Mini CHCH
MODULE
UNIT
well

52

DATE RECEIVED 23/11/89

WAIMAKARIRI DISTRICT COUNCIL
BT
RECEIVED 22 NOV 1989

RANGIORA DISTRICT COUNCIL

Frost

APPLICATION FOR BUILDING PERMIT

BUILDINGS VALUED $10,000 OR OVER

Building Levy - $1 PER $1000

NAME FROST - 186 SUMMERHILL ROAD, CUST.

OFFICE USE ONLY

Item	Fee	Receipt No.
BUILDING PERMIT	453-50	Invoice No: 221
BUILDING LEVY	112-50	
PLUMBING AND DRAINAGE — Plumbing / Drainage	61-50 / 56-00	
WATER CONNECTION		
SEWER CONNECTION		

FOR SCALE OF FEES SEE BACK PAGE

RANGIORA DISTRICT COUNCIL

BUILDING APPLICATION FORM

Fees must be paid with Application.
For Scale of Fees see back page.

Permit No. .....

Val. Roll No. 21580/25

Builder .....

Owner .....

The County Building Inspector,
P.O. Box 9,
RANGIORA.

Date 18/10/89

Dear Sir,

I hereby apply for permission to ALTER A DWELLING

at "KRAKATOA" 186 SUMMERHILL ROAD CUST.

for MR & MRS R.B. FROST of ABOVE.

according to locality plan and detailed plans, elevations, cross sections, and specifications of building deposited herewith, in duplicate.

Particulars of land: Lot No. ..... on R.S. 7842

BLK VI & VII. D.P. ..... MAIRAKI S.D.

Length of Boundaries ..... Area .....

Particulars of Building—Foundations: CONCRETE

Walls: TIMBER FRAMED Roof: CORRUGATED GALV. MS.

Area of Floor space: EXISTING BUILDING square mees

Area of Outbuildings: — square mees

Estimated Value of Building $ 90,000.00

Estimated Value of Drainage and Plumbing $ 10,000.00

TOTAL $ 100,000.00

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose): DWELLING.

Proposed use or occupancy of other part of building: —

Nature of ground on which building is to be placed and of adjacent strata: FLAT. LESS THAN 5° SLOPE

Yours faithfully,

R. B. Frost Owner.

TONY RILEY Builder.

WILLIS & ASSOCIATES
ARCHITECTS LTD,
P.O. BOX 380
CHRISTCHURCH

Postal Address: MAIN ROAD - CUST.

IMPORTANT

Builder must check Electrical Supply Authority's Requirements. Sewer Connection — it is essential builder check location and level of sewer main to verify drainage installation can be connected to the county sewer.

BUILDING INSPECTOR'S FIELD SHEET

AUTHORITY

Stats. No. G 079658

Wanganui District Council

No.

Inspector: M

File No.

Receipt No.

Date Permit Issued 21/2/90

OWNER

Name

Mailing Address

BUILDER

Name

Mailing Address

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No.

Street Name

Town/District

Riding

LEGAL DESCRIPTION

Valuation Roll No.

Lot D.P.

Section Block

Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Dwelling

FLOOR AREA

Whole Sq. Metres

DWELLING UNITS

Number Erected

ESTIMATED VALUES $

Building	
Plumbing	
Drainage	
G.S.T.	
TOTAL	

NATURE OF PERMIT (TICK BOX)

- [x] NEW BUILDING – exclude domestic garages and domestic outbuildings
- [ ] FOUNDATIONS ONLY
- [ ] ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED – include installation of heating appliances
- [ ] NEW CONSTRUCTION OTHER THAN BUILDINGS – include demolitions
- [ ] DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	$	Water Connection	$
Street Damage Deposit	$		$
Building Research Levy	$		$
Plumbing	$		$
Drainage	$		$
Sewer Connection	$		$
Vehicle Crossing Levy	$	G.S.T.	$
M.S. Plumbing	$	TOTAL:	$

Receipt No.

Date of Payment / /

Authorised Officer

Special Conditions:

Date Inspected	REMARKS (e.g. stage reached with work)
15-3-90	Foundation insp. - good solid bearing - steel as per plan. OK.
19-3-90	Slab - V. Barrier & steel ok. ok to pour.
23-4-90	P/L to 1st stage ok after 100x100 post under main timber

(CONTINUED OVER)

Date Inspected	
	Completed

COMPLETED (Signature)_____ Date ____/____/____

BC/MP/01A

Sheet No: 1

APPLICANT: Frost

APPN. NO: 52

Report on Building Permit Application -

Application Forms and Documents

NZSS 1900 Chapter 2

		PROVIDED	REQUIRED
2.3	Signature of Applicant		
2.4	Owner's Name & Address	✓	
	Builder's Name & Address	✓	
	Legal Description of Property	✓	
	Address of Property	✓	
	Description of Proposed Work	✓	
	Estimated Value of Work	✓	
2.5	Locality Sketch		
	Area of Proposed Work	✓	
	Plans & Specifications (in duplicate)	✓	
	Site Plan (in duplicate)		
	Drainage Plan		
	Design Details		
	Calculations (Specific Design)		
	Caluclations (Wall Bracing)	✓	
2.12	Permit Fees		
	Plumbing Permit Application		
	Drainage Permit Application		
	Cost of Vehicular Crossing		
	Water Connection Fees		
2.13	Use of Second-Hand Materials	✓	

COMMENTS:

Signed:

Date:

61

WAIMAKARIRI DISTRICT COUNCIL

DRAINAGE OR PLUMBING APPLICATION FORM

Valuation Roll No 21580/25

Permit No 238 | 239

Receipt No 221

The District Manager
Waimakariri District Council
Private Bag
RANGIORA

I hereby apply for a permit to carry out the following work as per plan attached hereto.

TYPE OF WORK Alter Dwelling

SITUATION OF WORK Summerhill Road Cust

OWNER R B Frost

ADDRESS above

BUILDER

LICENCED DRAINLAYER Geo Connor Signature

ADDRESS 22 Ashgrove Rgn Licence No 6280

CRAFTSMAN PLUMBER Peter Burroughs Signature

ADDRESS P.O Box 141 Kaiapoi Licence No 4391

SIGNATURE: Owner/Agent Date

Drainage applications MUST be accompanied by two site plans drawn to scale of 1 to 100 metric showing building outline, sewer and stormwater lines with grades and sizes. THESE ARE TO BE SEPARATE FROM BUILDING PLANS.

Plumbing applications: Two plans showing layout of sanitary and soil fittings and use of adjoining rooms, wastes, soil pipes, ducts, etc. Elevations showing soil and waste stacks, vents and windows, roof lines, etc. THESE MAY BE INCORPORATED IN BUILDING PLANS.

One copy will re retained for Council records and one copy will be returned as working drawing, and no deviation will be allowed without the prior approval of the Engineer.

	$ c
PLUMBING FEES	
Alterations	22.50
Residential, commercial, industrial with basic plumbing up to six fittings	45.00
Each fitting in excess of six	X3 5.50
Flats per unit	45.00
DRAINAGE FEES SEWERED AREAS	
Alterations - residential, commercial or industrial	22.00
Connection to sewer lateral or eye	45.00
Flats per unit in excess of one	22.00
RURAL AREAS	
Drains only	45.00
Drains and connection to septic tank	56.00
Extra inspections due to break in work	22.50
Re-inspections due to faulty work	56.00

OFFICE USE ONLY

Approved by: K A Curtis

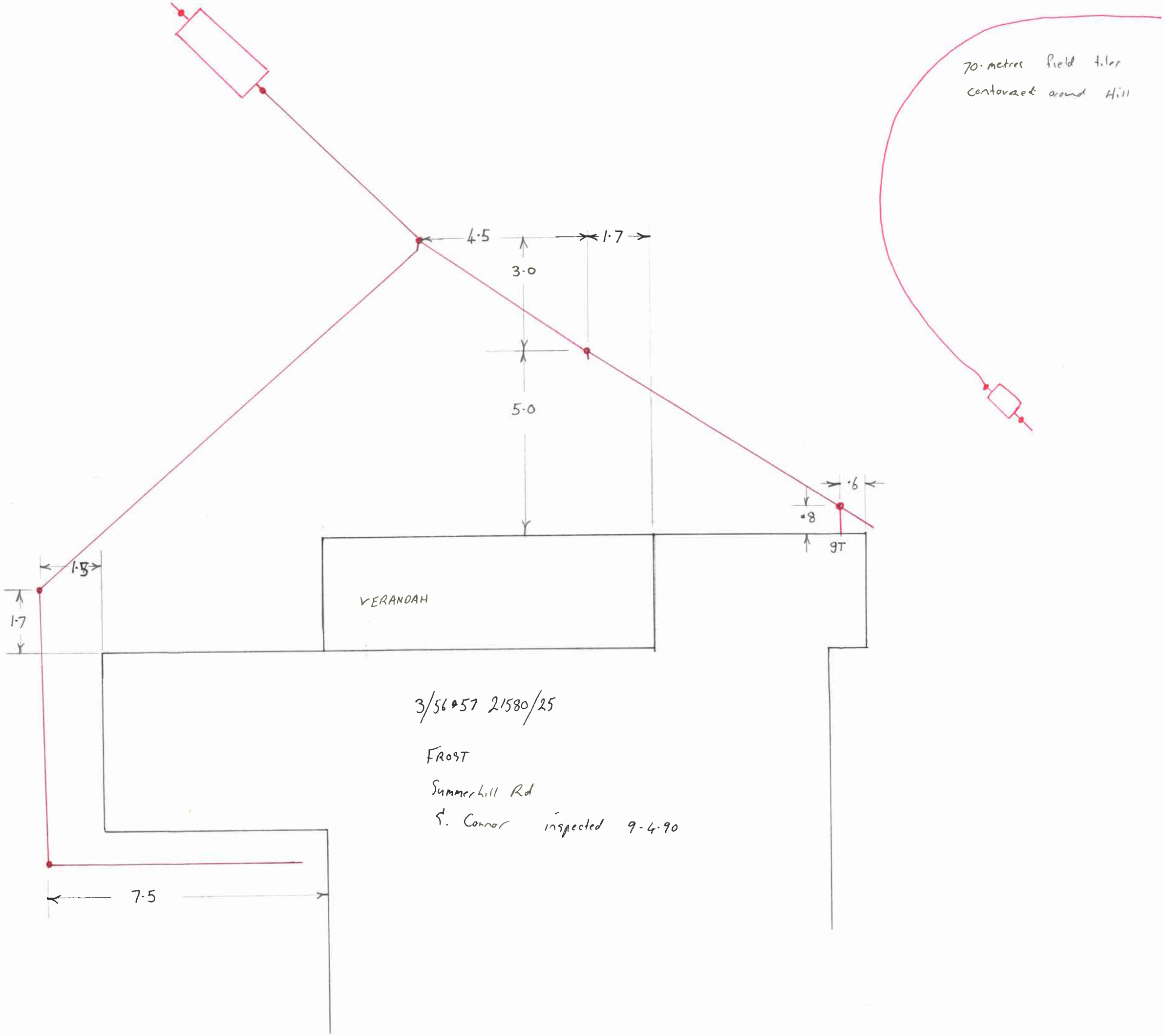
Date: 15-2-90

CONDITIONS:

YES / ~~NO~~

Septic tank capacity field tile system type of

A12:DRAINAPP.WDC/KG


70 metres field tiles
centouraed around Hill
4·5
1·7
3·0
5·0
·6
·8
9T
1·5
1·7
VERANDAH
3/56 & 57 21580/25
FROST
Summerhill Rd
G. Connor inspected 9-4-90
7·5

SPECIFICATION

Specification of works to be carried out and materials to be used in Alterations to Homestead - Krakatoa - Cust for Mr and Mrs R B Frost under the superintendence and to the reasonable satisfaction of Willis & Associates - Architects Ltd, 190 Hereford Street, P O Box 380, Christchurch.

This Contract will be conducted under the N.Z.I.A. Conditions of Contract.

EXAMINE SITE 1.1

All tenderers submitting prices for these works shall visit the site and make themselves conversant with the conditions which prevail or could prevail during the time for the Contract and verify the conditions imposed, implied or shown by the drawings or Specifications.

In particular, tenderers shall ascertain for themselves, ground water and foundation conditions. The submission of a tender will be taken as evidence that the tenderer has visited the site and allowed for in his tender, all items which may affect the works shown in the drawings or specifications.

CONTINGENCIES 1.2

Contractor shall allow the sum of $1,000.00 (One Thousand Dollars) for Contingencies. This sum is to be expended only as the Architect may direct and will be deducted if not required, in whole or in part from the amount due to the Contractor on completion of the works.

SETTING OUT 1.3

The Contractor is to do the setting out of all work and is to be responsible for its accuracy and must amend any errors.

CONTRACTOR TO ASSIST SUB-CONTRACTORS 1.4

All necessary facilities, together with use of plant, scaffolding, staging, etc., shall be provided, erected and maintained by the Contractor for the sub-contractors for the carrying out of their work. Any contracts between the Contractor and his sub-contractor must comply with the terms and conditions of this Contract.

WAIMAKARIRI DISTRICT COUNCIL
BUILDING PLAN APPROVED
SIGNED ..... 15.2.90.

GENERAL CONTRACTOR 1.5

The General Contractor's work shall include all labour and materials to complete construction of the work named on the title page of this Specification and as detailed on the drawings forming a part of this Contract as follows:-

1. The clauses of the Supplementary Conditions of Contract, set out in this Specification.
2. The General Conditions of Contract N.Z.I.A. Sixth Edition.
3. The Construction Regulations.
4. All labour.
5. New materials.
6. Modern plant and full Contractor's equipment in good condition.
7. General building supervision.
8. Cartage.

PROVIDE AND FIX 1.6

The words 'provide' and 'fix' or 'construct' or 'supply' or 'form' or 'include for' where used shall be interpreted to mean 'provide, fix or finish' to the satisfaction of the Architect in the best manner known to the trade or in the market, unless specified to the contrary.

ATTEND UPON ALL TRADES 1.7

Attend upon, cut away for and make good after all trades, in and by all trades, including forming and cutting all holes and chases, cutting away for and making good after Plumber, Electrician and Engineers and all other tradesmen or sub-contractors employed on the premises.

ADDITIONAL WORK, ETC. 1.8

Additional work shall match existing, unless shown otherwise or specified otherwise.

Make good to existing work where new work or things connect to old work, or work is removed.

EXISTING SERVICES 1.9

Where new work, services or fittings and appliances are connected to or incorporated in the existing work, services, or system this shall be completely finished and made good.

MATERIALS REFERRED TO WITHOUT FULL DESCRIPTION 1.10

Any materials or composition of materials described under one trade and only referred to under another trade, shall be similar in quality and composition.

PERMITS AND NEW ZEALAND STANDARD SPECIFICATION 1.11

All N.Z.S. and B.S.S. applicable to this work, shall be read as part of this Specification. The Contractor shall be responsible for obtaining all necessary permits and inspections by Local Authorities and/or Statutory Bodies.

VARIATIONS 1.12

Variations involving additional costs will not be approved for payment unless authorised in writing by the Architect in the form of a Variation Order.

PROTECTION OF WORK AND PROPERTY 1.13

The Contractor must properly protect the work from damage until final completion. The Contractor shall also be responsible for the work carried out by the sub-contractors, special tradesmen and persons associated with them. Any damage done must be made good by the Contractor at his own expense. The Contractor shall similarly protect surrounding property where the works involve him or those associated with him. Disturbance or damage to any surrounding property attributable to the Contractor or those associated with him shall be made good at the Contractor's expense.

FACILITIES 1.14

The Contractor shall arrange with the Owner for storage and Toilet facilities.

DEMOLITION 1.15

The Contractor shall arrange with the Owner for stacking of demolished materials. The Contractor shall ascertain which demolished materials shall be retained by the Owner. The Contractor shall remove any unwanted demolished materials from the site promptly. Existing materials may be re-used on receipt of written approval from the Architect or where specified.

CLEANING UP 1.16

The Contractor shall at all times, keep the works or any place associated with or surrounding the works free from accumulation of waste materials, rubbish, untidy storage, etc., caused by him or those employed by him or associated with him and at the completion of the works he shall remove all of his rubbish, un-used materials, tools, scaffolding, reinstating any damage or disturbance caused throughout the execution of the works to the Architect's satisfaction.

The Contractor shall thoroughly clean out, including cleaning windows and leave the works fit for immediate occupation.

Particular attention must be given to the protection of existing trees, shrubs and garden.

DEMOLITION

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE OF WORK AND WORK BY EMPLOYER 2.1

The Employer will carry out demolition of single and two storey buildings at North-West end of House including floor slabs and concrete steps on North-East wall balance of demolition work as required by the documents.

EXCAVATION

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE 3.1

This section of the contract consists of:-

1. Excavation for foundations and footings.
2. Backfill around foundations.
3. Excavate to the requirements of the drawings to the proper depth for the foundations and footings.
4. Excavate to the required depth for all stormwater and sewer drains.
5. All trenches to be sufficiently wide to allow proper laying and jointing of pipes, mains etc.

BACK FILLING 3.2

Back fill to all trenches and excavated areas with approved material. Fill to all areas required by the drawings and compact by mechanical means in a manner approved by the Architect.

DRAINAGE EXCAVATION 3.3

The Employer will arrange and pay for excavation and back filling for stormwater and sewer drainage, septic tank and effluent drain by local contractor. Position for excavations and depths etc to be determined by Drainlayer.

DRAINLAYING

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE OF WORK 4.1

1. The construction of 110mm diameter storm-water drains, Garnite U.P.V.C. Pipes and soak holes. Refer Excavations.
2. The construction of 110mm diameter Garnite U.P.V.C. sewer drain system complete with gully traps, inspection pipes, vents, etc., and cast iron pipes and fittings as required.
3. The construction of concrete septic tank as required. A pre-cast concrete septic tank unit of equivalent capacity may be used subject to approval of the Architects.
4. All other drainlaying work as required by the documents.

SITE INSPECTION 4.2

Tenderers, shall before submitting their proposals, fully inform themselves of the nature of the work required by personal examination of the site, of the drawings and Specification, of the architectural and structural drawings and by such means as they may prefer or consider necessary to determine matters, conditions and construction bearing on or in any way affecting the carrying out of the Contract.

Any unforseen difficulties for which provision has not been made in the tender will in no way relieve the Contractor from the full execution of the Contract.

WORKMANSHIP 4.3

All work shall be executed by an approved drainlayer in accordance with best trade practice and the standard code and he shall not be permitted to delegate this work to the workmen of any unlicensed Contractors.

Anything required to carry out the rules of the standards code must be allowed for even though such things may not be particularly specified.

The work, materials, etc., shall conform to the requirements or the Drainage and Plumbing Regulation 1978 and Amendments and also to any special requirements of the Local Authority Inspector having jurisdiction of this work.

U.P.V.C. pipes shall be laid in strict accordance with manufacturer's Code of Practice.

WAIMAKARIRI DISTRICT COUNCIL
BUILDING PLAN APPROVED
15.2.90
SIGNED

EXCAVATION 4.4

Refer to section EXCAVATION, the whole of this section is to be read as part of this trade.

GULLY TRAPS 4.5

Gully traps are to be set in concrete where necessary by the drainage system and kept covered during building operations. All gully traps are to be provided with cast iron gratings.

EFFLUENT DRAIN TO SEPTIC TANK 4.6

Supply and lay ~~65mm~~ 100 mm Novaflow effluent drain in clean crushed metal to length and location as required by Local Authority Drainage Inspector.

STORM-WATER SYSTEM 4.7

The stormwater drainage is to be taken to a point shown on the drawings include to build a silt trap with removable strainer where shown. Employer will connect from silt trap to reservoir.

CONCRETE WORK

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE OF WORK 5.1

1. Foundations to new area.
2. Piles to new area.
3. Floor slab and steps.

4. All other concrete work as shown or required by the documents.

GENERAL 5.2

No concrete shall be poured until excavations and/or boxing have been inspected and approved by the Architect. All material, workmanship, etc., shall be in accordance with N.Z.S. 1900, Chapter 9.3A.

MATERIALS 5.3

1. Aggregates to comply with N.Z.S. 1051.
2. Cement to comply with N.Z.S. 43.
3. Water shall be free from all deleterious substances.
4. Reinforcements shall conform to N.Z.S. 197.
5. Formwork to comply with N.Z.S. 1900, Chapter 9.3.
6. Damp-proof course to be Moistop 748.
7. Mulseal.

CONCRETE MIX SCHEDULE 5.4

Concrete shall be from an approved ready-mix concrete plant. Strengths required at 28 days are:-

20 Mpa

WEATHER CONDITIONS 5.5

Hot Weather:	Water spray and keep moist all concrete poured in hot weather for at least 24 hours after pouring.
Freezing Weather:	No work shall be done in weather when temperatures fall below freezing at any time during 24 hours in any event without adequate frost protection approved by the Architect.

CARPENTRY

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE OF WORK 6.1

1. Wall framing, roof framing, floor framing, ceiling framing and all framing required by the drawings.
2. External timber finishing.
3. Internal linings and finishing.
4. All joinery items as shown on the drawings.

STANDARDS 6.2

The Provision of the N.Z.S. 3604 1984 and Amendments shall apply except where modified by this Specification and accompanying drawings and all timber shall be graded and classified to N.Z.S. 3631 1978 and Amendments (Classification and grading of N.Z. Building Timbers).

JOINERY 6.3

The Joiner shall perform all necessary mortising, tenoning, tongueing, housing, rebating and all other works necessary for correct joining. All glued joints shall be cross-tongued or otherwise reinforced and finished in the best manner.

TIMBER 6.4

A. No. 1 Framing Grade Pinus Radiata "Tanalith" treated to N.Z.T.P.C. Specification to give a minimum salt retention 3.6 kg per M^3 to all framing timbers unless otherwise specified. All timbers to be thicknessed and gauged.

B. Dressing a Heart Rimu All exterior joinery except where otherwise specified.

C. Dressing A Rimu All interior joinery except where otherwise specified.

BOLTS, STEEL STRAPS, ETC. 6.5

Supply and fix all metal straps, bolts, nuts, washers, etc., as may be required or where shown on the drawings.

INSULATION 6.6

Supply and install in full accordance with manufacturer's directions, fibreglass insulation as shown. Supply and install in the new area A.H.I. Flamestop 522 fixed over the top of the floor joists and draped as required by the manufacturer.

Existing exterior walls where these are to remain will be filled with "Air Foam" insulation injected from the inside after Gib-foil linings have been fixed.

TIMBER SCHEDULE 6.7

Unless shown otherwise, is as follows:

Studs, ordinary	100mm x 50mm	Tanalised	Radiata	No. 1.
Studs, opening	100mm x 75mm	"	"	"
Plates, top	100mm x 75mm	"	"	"
Plates, bottom	100mm x 50mm	"	"	"
Ceiling joists	100mm x 50mm	"	"	"
Dwangs, nogging	100mm x 38mm	"	"	"
Rafters	100mm x 50mm	"	"	"

NB Beams or lintels where required and not shown or concealed shall be in accordance with Table 16, N.Z.S. 3604, 1984 and Amendments.

WALL BRACING 6.8

Generally, wall bracing to all interior walls shall be Pryda Tee-Brace, fixed in strict accordance with manufacturer's directions.

SKIRTINGS AND ARCHITRAVES 6.9

All existing skirtings and architraves are to be removed to be re-used, allow for new wall linings. Extreme care shall be exercised when removing these, new units shall match existing. Ensure that there are adequate backings for skirtings and architraves.

WINDOW & DOOR FRAMES 6.10

Supply and fix new windows and door frames to match existing, sashes and glazed doors to be ex. Cedar, all other timber as per Clause 6.4. Supply and fix .45 galvanised iron flashings to heads, jambs and sills. Hang sashes and doors on galvanised butt hinges.

FITTING CONSTRUCTION 6.11
(Unless shown otherwise)

Bench Tops, Counter Tops, etc:

To be laminated plastic on medium density Particle Board unless shown otherwise and to carry a written guarantee of quality and workmanship for a period of 10 years. Front edge to be raised.

Doors:

16mm Melteca hung on "Blum" hinges or equal approved.

Shelves and Carcase:

18mm Melteca, glued and screwed unless shown otherwise.

Drawers:

Fronts 16mm Melteca, sides and back 12mm Melteca, all grooved to receive the bottom which shall be 9mm Melteca. The whole to be glued and blocked together.

Drawers to be on "Blum" drawer slides.

NOTE: Melteca colour to be advised.

HARDWARE 6.12

Allow the sum of $1000.00 (One Thousand Dollars) for the supply only of appropriate hardware to be selected. The actual expenditure on hardware shall be adjusted at the time of settling the final account for the job.

FLOORING 6.13

New flooring where required will be supplied by Employer this will be ex 100 x 25mm T and G Macrocarpa.

Lay flooring over joists, all joints to be over solid bearing and to be well scattered. Upon completion of building works and prior to the laying of floor coverings sand all floors with an approved drum sanding machine to produce a surface suitable for laying of carpet or vinyl flooring.

MATCHLINING 6.14

Where shown supply and fix match-lining ex Rimu Heart DA 100 x 12mm over polythene vapour barrier. Boards to have secret fixings and to be in maximum lengths to suit location.

Apply one coat clear polyurethane varnish before fixing.

DADO PANELLING 6.15

Include to remove, alter, add to or re-locate existing dado panelling where shown on documents.

WEATHERBOARDS 6.16

Additional weatherboards where required are to match existing and are to be ex Treated White Pine primed all faces before fixing. All joints to be mitred. Include to supply and fix cover stops at all external corners properly scribed to cover weatherboards ex Treated White Pine.

ROOF TANK STAND 6.17

Build support stand for hot water cylinder and roof tanks where shown, to be constructed ex 100 x 50mm framing adequately braced to resist seismic movement and to have platform constructed of 100 x 25mm boarding.

DOOR SCHEDULE 6.18

The door schedule forms part of this Specification and is to be included under this section of work.

ROOFING

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE OF WORK 7.1

1. The supply and installation complete of galvanised corrugated iron roofing complete with all cappings, flashings, upstands and accessories.
2. The supply and installation complete of the skylights as shown.

MATERIALS 7.2

Custom orb galvanised .45mm thickness corrugated in full lengths to suit and all fixing accessories.

Cappings, upstands and flashings in Custom Orb galvanised iron .55 thickness where required.

Building paper to be Flamestop 660 and Bandan strapping.

Sealant where required shall be Expandite Silaflex R.T.V.

Roof penetrations shall be flashed with Aquaseal rubber mouldings.

Glazing bars where required shall be Rolls 0659 complete with cap 0658 and drop shoe foot 0660 all powderstatic coated to approved colour.

WORKMANSHIP 7.3

The whole of the roofing inclusive of the ventilations, flashings, cappings and other accessories necessary to complete the works shall be carried out by specialist fixers.

This work is to carry a two year guarantee against leaks, defect etc,.

PLASTERING

Refer to the Preliminary and General clauses of this Specification and to the General conditions of Contract which are equally binding on all trades. This section of the specification shall be read in conjunction with all other trades.

SCOPE OF WORK 8.1

1. Gibraltar Board to all new and existing interior framed walls.
2. Gib-foil to all new and existing exterior walls and to all new and existing ceilings.
3. Wall and floor tiling as required by these documents.
4. Cement plaster to foundations and steps.
5. All other plastering work as required by these documents.

MATERIALS 8.2

1. Gibraltar Board is 9.5mm thick in widths and lengths to suit walls.
2. Gibfoil as above.
3. Galvanised metal beads to all exterior corners.
4. Selected glazed ceramic tiles fixed with approved adhesive and grouted, include a nett sum of $50.00 M^2 for supply of tiles.

WORKMANSHIP 8.3

The Gibraltar Board linings shown on the drawings shall be fixed in strict accordance with the manufacturer's directions as covered in the document "Gibraltar Board Systems", lining and Jointing Instructions dated September 1988.

Galvanised metal angle beads shall be fixed to all external corners. Unless otherwise detailed, all work shall be finished perfectly flat, even, hard and free from trowel marks or any other surface blemishes, steel members; pipes and conduits which pass through or are embedded in any plasterworks shall be first prime-painted.

All wiring shall be pulled through plasterboard walls by plasterer.

Unless specified otherwise all surfaces are to be prepared to received painted finish to all areas.

WALL TILES 8.4

Wall tiles shall be fixed with an approved tile adhesive, all surfaces shall be properly prepared for the finishes specified. Grouting to tiles shall be carried out to a flush and even finish with an approved compound to match tile colour.

PLUMBING

Refer to the Preliminary and General clauses of this Specification and to the General conditions of Contract which are equally binding on all trades. This section of the specification shall be read in conjunction with all other trades.

SCOPE OF WORK 9.1

1. The reticulation of water supply systems and connection of all terminations.
2. The removal of existing kitchen, laundry and bathroom appliances and supplies as shown.
3. Installation of waste systems to new and relocated fittings.
4. The execution of all other plumbing work including rainwater disposal, flashings, and all other work as necessary to complete the Plumbing as required by these documents.

BY-LAW REQUIREMENTS 9.2

The whole of the works, material and appliances shall conform to N.Z. Drainage and Plumbing Regulations 1978 and Amendments or to the Requirements of the Local Authority Plumbing and/or Drainage Inspector.

WORKMANSHIP 9.3

The whole of the works, materials, etc., shall be first quality unless specified otherwise and shall be fitted in accordance with first-class practice.

Any item which is obviously necessary or inferred within the type or quality of the Contract, but omitted from the drawings and Specification, shall be included without charge to the Employer.

Builder shall notify the Architect at time of tendering of any omission encountered.

FLASHINGS 9.4

Supply and fix 2.2 kilos lead flashings to pipes, flues and upstands to roof, etc., unless shown otherwise.

PIPEWORK TO BE CONCEALED 9.5

All pipework, waste-pipes, soil pipes and vent-pipes shall be concealed unless shown otherwise.

SOIL-PIPES, WASTE, ETC. 9.6

Waste and vent-pipes shall be in Dux Fast Fit Polypropylene pipes laid in or fixed in strict accordance with manufacturer's Code of Practice, to be complete with all traps and accessories, etc.

PIPEWORK 9.7

All interior pipework will be run in Qest Polybutylene complete with all accessories, fittings, etc., and installed in strict accordance with the manufacturer's Code of Practice, dated August 1979.

PIPE SIZES 9.8

Mains run in hot and cold and to hot water cylinder 20mm diameter, other leads or droppers 15mm diameter.

PIPEWORK INSULATION 9.9

Pipework conveying hot water, and any cold water pipework above ceiling insulation in roof space is to be lagged with Insultube or equal approved pipe insulation fixed in accordance with manufacturer's directions.

HOT WATER SYSTEM 9.10

Supply and connect complete a Rheem or equal quality electric hot water cylinder conforming to N.Z.S. 4602: 1988 to be of 270 litres capacity. Installation to comply with N.Z.S. 4603 and 4615.

Connect to service from storage tanks and run leads to appliances as required.

Leads to shower valves to be run in such a manner as to ensure that shower valves operate to produce a satisfactory and even pressure at shower rose.

Connect cylinder to water booster in Log Fire. Provide the necessary stop valves to isolate cylinder and provide a drain to the outside.

COLD WATER SYSTEM 9.11

Connect into cold water system provided by the Employer run 25mm alkathene lead to head tanks in roof space. Provide two 135 litres Nura tanks in tandem on stand by Carpenter, connect through ballcock and provide .45mm galvanised iron overflow tray and overflow pipe to outside. Run leads for cold water service to provide a low pressure system throughout the building.

LOG FIRE 9.12

Include to install and connect Log Fire with water boiler as supplied by Employer. Plumber to allow for installation into existing fireplace to comply with local body requirements.

FILLING OF PIPES 9.13

Prior to fixing of wall linings, seal off all pipework terminations and fill with water until all linings have been fixed by other trades.

SPOUTINGS 9.14

Include to remove all existing spoutings and replace with .6mm galvanised iron spoutings to match existing to be laid with even fall to downpipes.

An alternative quotation is required for a Marley Spouting System laid in strict accordance with manufacturer's instructions allowing for 80mm diameter downpipes.

DOWNPIPES 9.15

Supply and install 80mm diameter Marley Downpipes complete with all fittings, fabricated and fixed in strict accordance with manufacturer's instructions.

SCHEDULE 9.16

The Plumber's Schedule at rear of this Specification is to be included as part of this Contractor's work.

PRESSURE BALANCING 9.17

To ensure optimum performance of the shower valves supply and connect Greenstyle Equalizer valves upstream of each shower mixer valve and adjust to suit installation.

ELECTRICAL

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE OF WORK 10.1

1. Additional electrical wiring and terminations as shown on the drawings.
2. Alterations and modification of existing wiring to allow for all works required.

MATERIALS 10.2

The Contractor shall supply all materials, plant, machinery, labour and tools necessary to complete the Electrical work in accordance with the requirements of the Local Body Inspector, Electrical Regulations 1961. The workmanship and materials shall be of the best standard.

MAIN SWITCH BOARD 10.3

Include to alter or add to existing switch board to cater for new or additional circuits or terminations as required, to be complete with necessary switch gear, circuit breakers, circuit fuses etc all clearly Dymo labelled.

SERVICE MAINS 10.4

Include to check capacity of existing service mains and if necessary allow to replace mains or increase capacity of service. Include to re-locate existing meter box where shown.

CABLES 10.5

All cables shall be 250 volt grade complying with N.Z.S. 50, and shall beconcealed in all cases.

PLUGS AND SWITCHES 10.6

New plugs and switches shall be H.P.M. white.

POSITION OF SWITCHES SOCKET OUTLETS ETC. 10.7

Unless shown otherwise, switches to lights shall be at 1.300 above floor, and socket outlets at 300 above floor.

WATER HEATER 10.8

Connect water heater element and thermostat to system (see Plumber). Cylinder to have isolation switch in close proximity of Unit. Cylinder to be wired for "Night Rate" metering.

TELEVISION AERIAL 10.9

Erect and connect television aerial supplied by Employer, run leads to H.P.M. outlets where shown.

ELECTRICAL SCHEDULE 10.10

The Electrical Schedule is included as part of this Contractor's work.

Refer to rear pages of this Specification.

GLAZING

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

WORKMANSHIP 11.1

All workmanship, materials, etc., shall be in accordance with Recommendations for Glass and Glazing 1969, N.Z.S. 2258.

MATERIALS 11.2

1. All glass to conform to BS 1953. Glazier may be requested to produce written evidence of origin, quality, etc. Glass surfaces are not to be disfigured and must be free of blemishes.
2. Sashes and frames to be glazed with select quality sheet or float glass, as shown on drawings.
3. Mirrors shall be made from silvering quality, glass with polished edges, silvered two coats nitrate of silver and then covered with copper and final coat of approved water-proof paint.
4. Glass to sloped glazing in skylights shall be 6.38mm laminated safety glass, tinted, glass to shower in Bathroom similar in clear glass.

PAINTING AND DECORATING

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE OF WORK 12.1

1. All exterior woodwork to be painted.
2. All exterior metalwork including roofing to be painted.
3. All vent pipes and flashings to be painted.
4. All plasterboard surfaces to be painted.
5. All interior woodwork to be painted or varnished including inside cupboards, shelves etc.
6. All other painting or decoration as necessary to complete the works.

WORKMANSHIP 12.2

All work shall be of the highest standard and shall conform to Recommendations for the Painting of Buildings, N.Z.S. 2239:1968.

PROPRIETARY PAINTS 12.3

The Painting Contractor is directed to keep all empty containers of the materials, specified under this Contract, and may be asked to produce written dockets, invoices, etc., indicating date of purchase, batch numbers, etc.

FITTINGS 12.4

All metal fittings and fastenings are to be removed before the preparatory processes are commenced, cleaned and refixed in position on completion.

DUST SHEETS 12.5

An ample supply of clean dust sheets to protect the work during its progress is to be at hand.

WEATHER 12.6

No painting on exterior work is to be done during wet or foggy weather, or upon surfaces that are not thoroughly dry.

DUST 12.7

Before painting, varnishing or enamelling is proceeded with, floors must be washed over and every possible precaution to keep down dust.

LINSEED OIL PUTTY 12.8

All nail holes, imperfections, etc., shall be filled with an approved linseed oil putty; where this is to be used with varnished woodwork, add colouring to match surrounding surfaces.

SURFACES 12.9

The Painter shall thoroughly inspect all surfaces to be painted and shall advise the General Contractor of any defects, blemishes or imperfections, etc., in the event of the Painter commencing work upon unsatisfactory surfaces, he shall be held responsible for the making good of the same.

COLOUR SCHEDULE 12.10

This will be supplied by the Architect prior to commencement of painting; no final coat colours to be applied until approved by the Architect.

EXTERIOR WORK 12.11

New Timber

1 coat Dulux Wunderprime
1 coat Dulux Wundercoat
1 coat Dulux Super Enamel

Existing Timber

Spot prime bare damaged or cracked surfaces with Dulux Wunderprime

1 coat Dulux Wundercoat
1 coat Dulux Super Enamel

New Metalwork

1 coat Dulux Galvanised Primer WB
2 coats Dulux Spruce Roof Paint

Existing Metalwork

Spot prime bare surfaces with Dulux Rustguard

2 coats Dulux Spruce Roof Paint

PREPARATION OF SURFACES

Particular attention is to be paid to the preparation of existing surfaces for painting. Timber shall be thoroughly sanded and scraped to remove all loose and powdered paint then scrubbed down with water and allowed to dry.

Metal surfaces to have rust removed by wire brush or power tool cleaning, flaking paint to be removed by scraping or other approved methods.

Water - blasting will be considered by the Architects.

For details of surface preparation specifications, refer to Dulux specification nos. P.S. 600, P.S. 602, P.S. 603, P.S. 607, P.S. 608, & P.S. 609.

INTERIOR WORK 12.12

To walls and ceilings in Mudroom, Shower, W.C., Kitchen, Family Room, and Bathroom.

Plasterboard (B)

1 coat Gib-seal
2 coats Resene Lumbersider

To all interior surfaces not before specified to include interior of wardrobes and cupboards etc.

Plasterboard (A)

1 coat Gib-seal
1 coat semi-gloss undercoat
1 coat semi-gloss enamel

Timber-Varnished
(new Work)

3 coats Dulux Timbaglow (Satin or Gloss as directed)

Timber- Varnished
(Existing Work)

2 coats Dulux Timbaglow (Satin or Gloss as directed)

Timber work to all areas other than MudRoom, Shower, W.C., Kitchen and Bathroom. Includes flooring to Lounge.

PREPARATION OF VARNISHED SURFACES

Sand down existing surfaces using Wet and Dry 500 grit paper and then follow procedure as referred to in Dulux Manual.

Timber (New Work)

1 coat Dulux Alkyd Primer U/C
1 coat Dulux Alkyd Smooth Flow U/C
1 coat Dulux Alkyd Semi Gloss

Timber (Existing Work)

Spot prime bare damaged or cracked surfaces with primer as above.

1 coat Dulux Alkyd Smooth Flow U/C
1 coat Dulux Alkyd Semi Gloss

Timber work to MudRoom, Shower, W.C., Kitchen and Bathroom.

STRUCTURAL STEELWORK

The Preliminary and General clauses of this Specification and the Conditions of Contract are binding on all trades. This section of the Specification shall be read in conjunction with other trades.

SCOPE 13.1

This section of the works consists of the supply and fabrication of all structural steelwork as shown on the drawings and described herein.

STEEL AND FABRICATION 13.2

All steel shall be clean and free from loose rust and scale and shall conform to B.S. 4360: 1979. The steelwork shall be accurately fabricated so that all parts fit truly on assembly. All corresponding parts shall be interchangeable. Fabrication shall be carried out in accordance with N.Z.S. 4701: 1981, and N.Z.S. 3404: 1977.

DISTORTION 13.3

With all welds, due allowance must be made for weld shrinkage such that the jointed steelwork is left true to line and level.

DEFECTS 13.4

Welds shall be in accordance with the standard laid down in N.Z.S. 4701: 1981. If defects are found, they shall be assessed by the Architect and if he so instructs shall be cut and inspected before welding.

PRIMING 13.5

All steelwork which is not to be encased in concrete shall be thoroughly power wire brushed and scraped to remove all mill scale, rust, oil etc and painted with Taubmans Busban Metal Primer all in accordance with manufacturer's directions. Paint evenly without spills or runs. Spray application will not be permitted. Paint one coat of the primer in the shop and patch and apply final coat immediately after erection. Paint thickness shall be 0.1mm minimum.

CLEATS, WELD PLATES, & HOLDING DOWN BOLTS 13.6

Supply and fix all cleats, weld plates, holding down bolts and other miscellaneous fixing detailed or implied on the drawings which are associated with the steelwork.

DOOR SCHEDULE

D1	Recycled to match front door.
D2	Approx 1.980 x 760 flush panel door, hollow core, edges clashed, Rimu veneer C.A. slider, varnish finish.
D3	As for D2 or 3 x 100mm L.P.A.C. butt hinges, latch set and furniture, varnish finish.
D4 D5 (2) D7 (2) D15	Approx 1.980 x 760 glazed panel door cn 3-100mm galvanised broad butt hinges ex 50mmCedar, top rail and stiles ex 100mm, bottom rail ex 200mm, glazing beads ex 25mm, lockset and furniture, painted finish.
D6, D8 D9, D10 D12	Existing panelled door re-used, varnish finish.
D11	Existing panelled door re-used into C.A. slider frame.
D14 (2) D16	Existing glazed panel doors re-used. Painted Finish.
D13 (2)	As for D4 on Sylon Sliding Door Gear.

PLUMBING SCHEDULE

Location	Fitting	Type/Make	Notes
Mud Room	Laundry Tub & Cabinet B&F	L.P. 2	
Mud Room	Tub Taps	Dorf E90	Chrome
Mud Room	Auto Washer		E/S
Mud Room	Auto Dryer		E/S
W.C.	W.C. Pan	Kensington	White
W.C.	Cistern & Seat	Caroma Wall-Line	White with Seat
W.C.	Basin	Fowler Miniwall	White
W.C.	Basin Taps	Dorf E123	Chrome
Shower	Showerline	3G	White
Shower	Shower Valve	Dorf Super Safe	
Shower	Shower Rose	Dorf 82	Chrome
Kitchen	Sink Insert	Clark 2012F	Joiner Supply
Kitchen	Mixer Faucet	Dorf NF175	Chrome
Kitchen	Waste Disposer		E/S
Kitchen	Dishwasher	Kelvinator	E/S
Kitchen	Wall Oven	Kelvinator	E/S - Plumber to provide Vent
Kitchen	Range Hood	Tilt-A-Hood	E/S
Bathroom	Bath	Beautyware Classic 56	White
Bathroom	Bath Set	Dorf NF183	Chrome
Bathroom	Vanity Basin	Fowler Reef	White Joiner Supply
Bathroom	Basin Set	Dorf NF118	Chrome
Bathroom	Showerline	2A	White, With Door & Screen
Bathroom	Showervalve	Dorf Super Safe	
Bathroom	Shower Rose	Dorf 82	Chrome
Bathroom	Cistern	Caroma Wall-Line	With Seat White
Bathroom	W.C. Pan	Kensington	White

NOTE: E/S Denotes Employer Supply Item

ELECTRICAL SCHEDULE

Area	Fitting	Type/Make	Notes
Kitchen	Waste Disposer	In-sink-erator	E/S
Kitchen	Dishwasher	Kelvinator	E/S
Kitchen	Wall Oven	Kelvinator CM645E	E/S
Kitchen	Cook Top	Kelvinator - 605DS	E/S
Kitchen	Range Hood	Tilt-A-Hood	E/S
Mud Room	Heater	Skope Savannah	
Bathroom	Heater	Skope Savannah	
Passage	Nightstor Heater	TSR24 (M)	E/S

NOTE:

1. E/S Denotes Employer Supply Items
2. Include a nett sum of $1,000.00 (One Thousand Dollars) for purchase of light fittings.

   The wiring up, fixing and connecting to be allowed separately. Balance of terminations to be Batten Holders or Pendant Lamp Holders.

   Supply 75w G.L.S. lamps to all fittings.

WILLIS & ASSOCIATES - ARCHITECTS

P.O. Box 380
Telephone 67-363
Christchurch
New Zealand

Property file

DATE 9 / 2 / 90
FILE 1285/1

am·pm

PROJECT ALTERATIONS TO HOMESTEAD - FROST

Recorded by

~~SITE REPORT No.~~

CONTRACT INSTRUCTION No. 1285/1

~~VARIATION ORDER No.~~

~~VARIATION PRICE REQUEST No.~~

COPY FOR YOUR INFORMATION

300 x 100 TIMBER BEAM TO BE FIXED INTO CEILING SPACE ABOVE LOUNGE WHERE WALL IS REMOVED. CEILING TO BE HUNG WITH 50 x 50 mm CEILING HANGERS FROM SIDES OF BEAM.

BEAM TO BE BUILT INTO FIREPLACE CONSTRUCTION TO ENGINEERS APPROVAL, AND TO BEAR ON 100 x 100 TIMBER POST AT OTHER END.

FINAL POSITION OF WATER STORAGE HEADER TANKS TO BE DETERMINED ON SITE AFTER PRESSURE TESTING. FIXING OF HEADER TANKS WILL THEREFORE HAVE TO BE CHECKED AND DIRECTED ON SITE BY CONSULTING ENGINEER.

WAIMAKARIRI DISTRICT COUNCIL

REFER TO	INITIALS	DATE
D.E.		

RECEIVED 13 FEB 1990

Instructions:

900213014

LEGEND
A. CONTRACT INTERPRETATION ONLY
B VARIATION TO CONTRACT
C PRICE REQUIRED BEFORE WORK COMMENCES
D PRICE REQUIRED WORK TO COMMENCE NOW

Distribution
R D SULLIVAN
R BAKX

Mail / ~~Hand~~

Date 9.2.90

WAIMAKARIRI DISTRICT COUNCIL

215 High Street
Private Bag, Rangiora, New Zealand.
Phone (0502) 36136, Fax (0502) 34432.

FACSIMILE TRANSMISSION

Date: 9.02.90 URGENT/~~ROUTINE~~

To: Willis & Associates

Attention: Mr. M. Cousins

City: Christchurch

Country: NZ

Receiver's Fax No: (03) 657197

Our Fax No: 64 - 0502 - 34 432

From: Rene Baker

If you do not receive ..... pages (including this page) please contact us on telephone (0502) 36 136 Rangiora.

MESSAGE:

Further to our telephone conversation of today as follows is copy of letter sent to Mr. Riley.

Regards

Rene Baker

WILLIS & ASSOCIATES
CM. 667363.

MR. M. COUSINS.

RANG. 11.15 8 FEB 1990.

1. WHAT DO THEY INTEND TO DO ABOUT STRUTTING BEAM. OVER MASTER BEDROOM AND BEDROOM WHEN WALL REMOVED TO CONVERT BOTH INTO LOUNGE.

9. FEB 1990.
M. COUSINS RANG. THE WALL IS TO BE REPLACED BY A 300 x 100 BEAM. HE WILL ADVISE BUILDER AND ISSUE COPY TO US. BEAM HAS BEEN DESIGNED BY ENGINEER R.D. SULLIVAN.

Property File

R. D. SULLIVAN BE MIPENZ

Consulting Engineer — Civil & Structural

136 Chapter Street . Christchurch . Telephone 555-044 . P.O. Box 21185

900123017

17 January 1990

RECEIVED 23 JAN 1990
Instructions: Bede

copy 23/1/90 C

District Engineer
Waimakariri District Council
High St
RANGIORA

Dear Sir,

ALTERATONS TO HOUSE FOR Mr and Mrs R B FROST

I, Richard Daniel Sullivan, a Registered Engineer, certify that I have carried out the structural design for the steel beam, roof structure over the garden area and gazebo shown on drawings, sheets 1 & 2 prepared by Willis and Associates -Architects Job 1285.

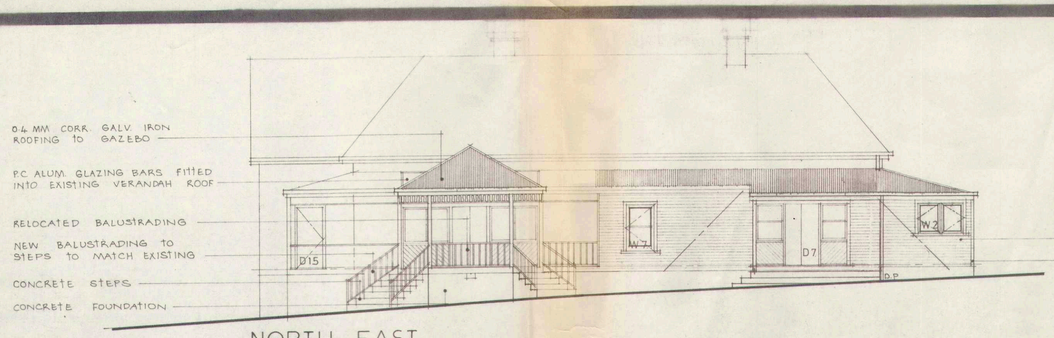
I certify I have checked the structural elements with the loading specified in NZS 4203:1984. I have ascertained to the best of my ability that the stresses and combination of stresses in the various materials of construction under the above loads will not exceed the maxima to ensure the safety and stability of the structure if constructed in accordance with the plans and specifications.

The material codes used to check this design have been

Concrete NZS 3101:1982
Steel NZS 3404:1977
Timber NZS 3603:1981

Yours faithfully

R D Sullivan



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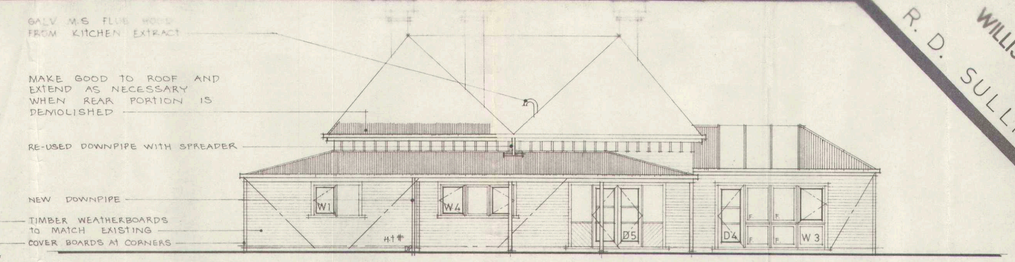

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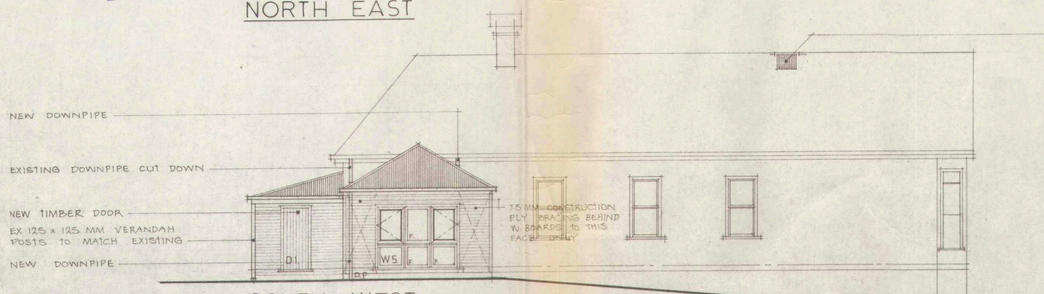

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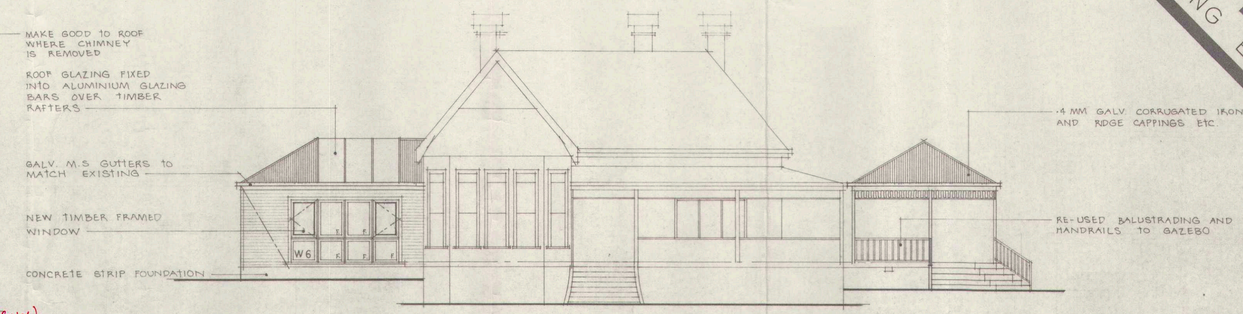

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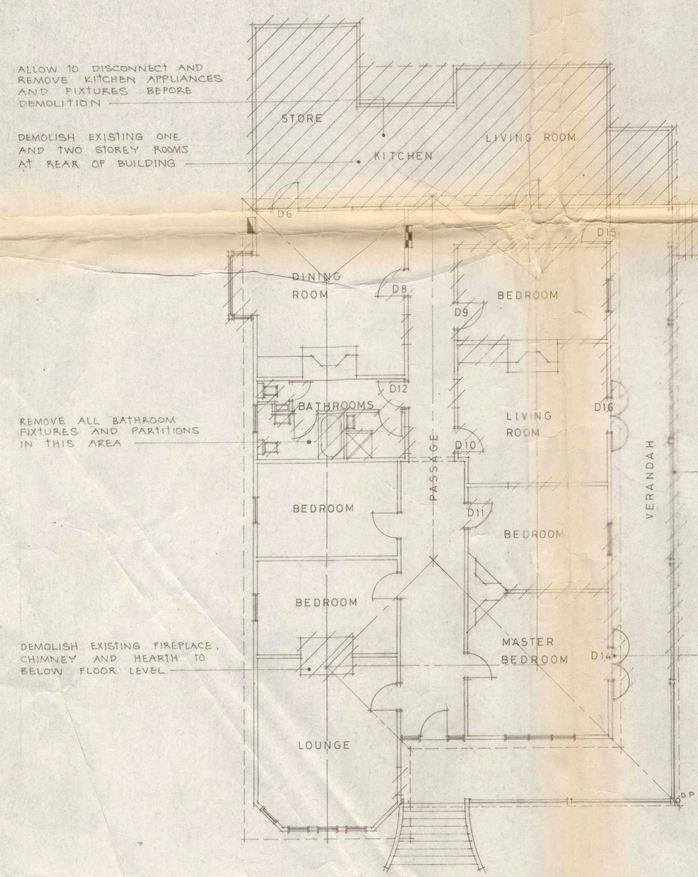
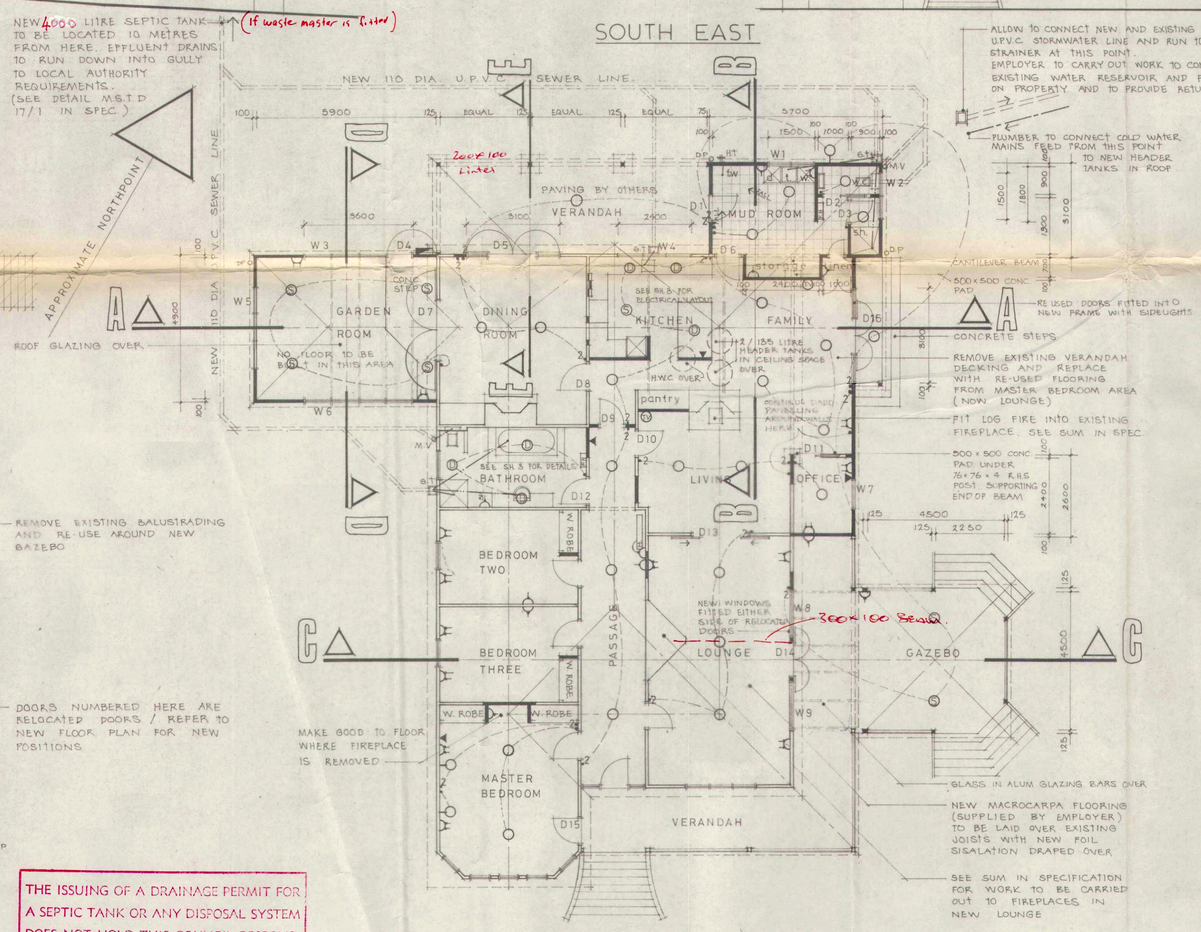


EXISTING FLOOR PLAN

WORK TO BE REMOVED SHOWN HATCHED



NEW FLOOR PLAN

NEW WORK SHOWN SHADED

THE ISSUING OF A DRAINAGE PERMIT FOR A SEPTIC TANK OR ANY DISPOSAL SYSTEM DOES NOT HOLD THIS COUNCIL RESPONSIBLE FOR THE EVENTUAL EFFICENT WORKING OF THAT SYSTEM. an on site inspection will be necessary to determine type of field tile system to be used

KEY TO SYMBOLS

- WALL SWITCH
- WALL SWITCH - TWO WAY
- INCANDESCENT CEILING LIGHT
- CEILING MOUNTED SPOTLIGHT
- SINGLE SOCKET OUTLET - SWITCHED
- DOUBLE SOCKET OUTLET - SWITCHED
- SHAVER SOCKET OUTLET
- MAIN SWITCHBOARD
- METER BOARD
- RECESSED DOWNLIGHT
- D.P. DOWNPIPE
- H.T. HOSE TAP
- G.T. GULLY TRAP
- M.V. MAIN VENT
- TIMBER FRAMED WALLS TO BE REMOVED
- NEW TIMBER FRAMED WALLS
- TELEPHONE JACK POINT
- TELEVISION AERIAL OUTLET AND POWER SOCKET
- F.W. FLOOR WASTE
- NIGHTSTOR HEATER
- FAN HEATER

All construction work and materials used must comply with the requirements of New Zealand Standard Code of Building By-Laws No. 1900.

WAIMAKARIRI DISTRICT COUNCIL
BUILDING PLAN APPROVED
15.2.90
SIGNED

NOTES

1. ADDITIONAL WORK SHALL MATCH EXISTING UNLESS SHOWN OR SPECIFIED OTHERWISE.
2. MAKE GOOD TO EXISTING WORK WHERE NEW WORK ADJOINS OR WHERE WORK IS REMOVED.
3. ALL NEW STRUCTURAL TIMBER TO BE TANALISED RADIATA N° 1 AND IS SUPPLIED BY THE EMPLOYER.
4. ALL CONSTRUCTION TO CONFORM TO N.Z.S. 3604 1984 AND AMENDMENTS
5. WHERE NEW WORK, SERVICES OR FITTINGS ARE CONNECTED TO OR INCORPORATED IN THE EXISTING WORK, SERVICES OR SYSTEM, THIS SHALL BE COMPLETELY FINISHED AND MADE GOOD, RETAIN EXISTING TERMINATIONS WHERE PRACTICABLE.
6. ALL EXISTING REMAINING EXTERIOR WALLS TO BE FILLED WITH 'AIRFOAM' OR EQUAL INSULATION, INJECTED FROM THE INSIDE WHEN THE GIB. FOIL LININGS HAVE BEEN FIXED. ALL NEW EXTERIOR WALLS TO HAVE R 2.0 FIBREGLASS INSULATION
7. ALL DRAINAGE WORK TO BE NEW, INCLUDING ALL GULLY TRAPS, SEWER LINES, VENTS, WASTE PIPES ETC.

R. D. SULLIVAN - CONSULTING ENGINEER

WILLIS & ASSOCIATES - ARCHITECTS

17 NOV 1989

all dimensions on site and in shop shall be checked before commencing work

date APRIL 89 drawn by M.D.C. reference 1285/4/1 scale 1:100 sheet 1

ALTERATIONS TO KRAKATOA FOR MR AND MRS R.B. FROST CUST NORTH CANTERBURY

1

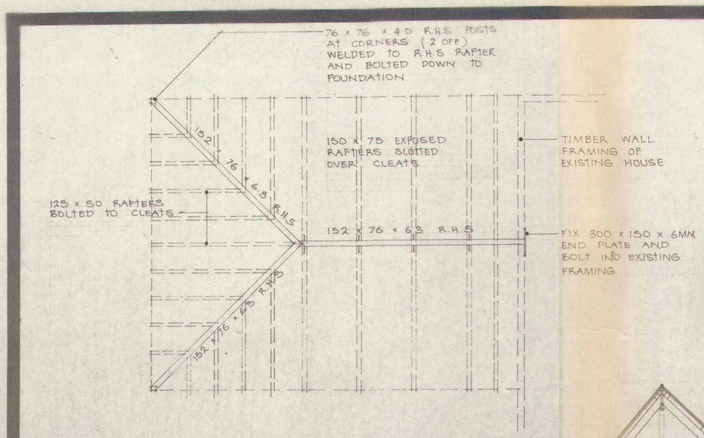
NOTE:
All construction work and materials used must comply with the requirements of New Zealand Standard Code of Building By-Laws No. 1900.

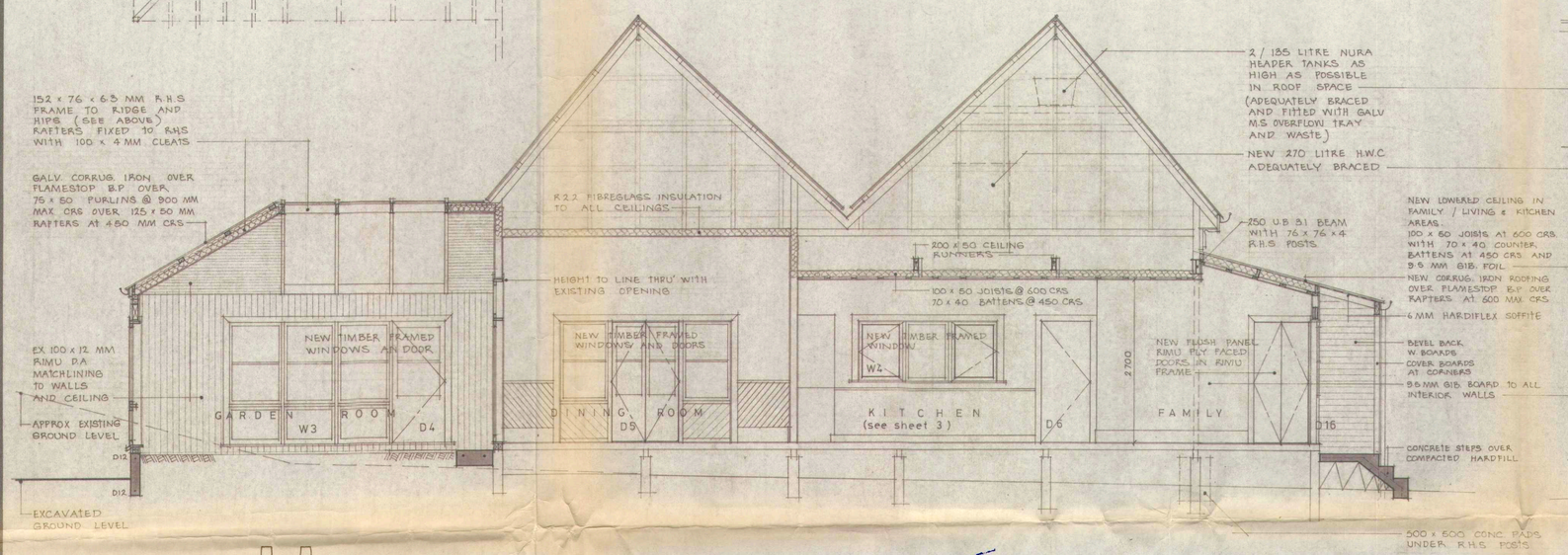
WAIMAKARIRI DISTRICT COUNCIL
ALL BOUNDARY SURVEY PEGS MUST BE LOCATED AND FLAGGED BEFORE WORK IS COMMENCED.

WAIMAKARIRI DISTRICT COUNCIL
THESE PLANS AND SPECIFICATIONS MUST BE KEPT ON SITE DURING CONSTRUCTION.

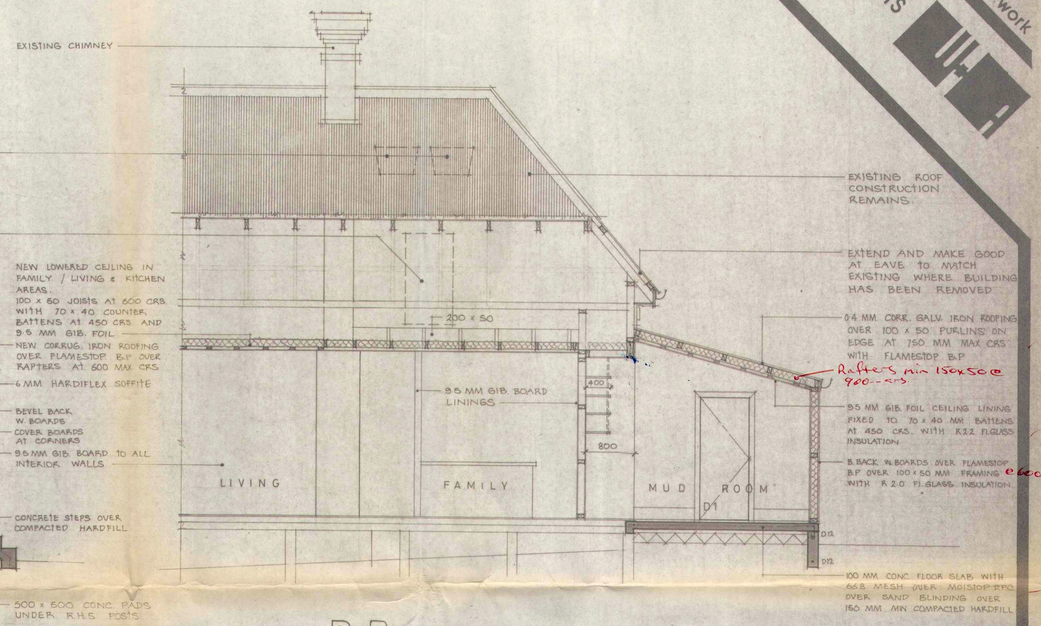
WILLIS & ASSOCIATES - ARCHITECTS
17 NOV 1989

sheet 2
scale 1:50
reference 1285/5/1
drawn by M.D.C
date MAY 89 checked by
all dimensions on site and in shop shall be checked before commencing work





SECTION AA 1:50

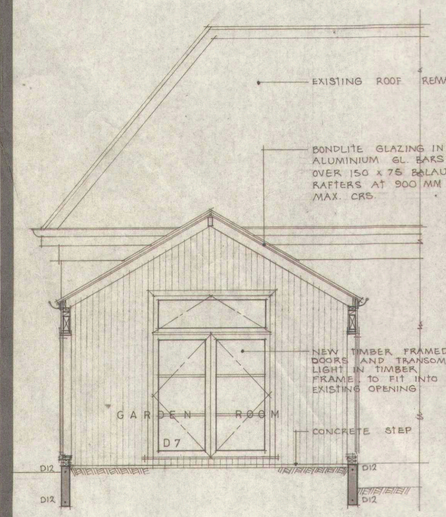


SECTION BB 1:50

HEATING UNITS
24 HOURS NOTICE MUST BE GIVEN TO BUILDING INSPECTOR PRIOR TO THE COMMENCEMENT AND ON COMPLETION OF THE INSTALLATION.

WAIMAKARIRI DISTRICT COUNCIL
BUILDING PLAN APPROVED
15.2.90
SIGNED

All construction work and materials used must comply with the requirements of New Zealand Standard Code of Building By-Laws No. 1900.



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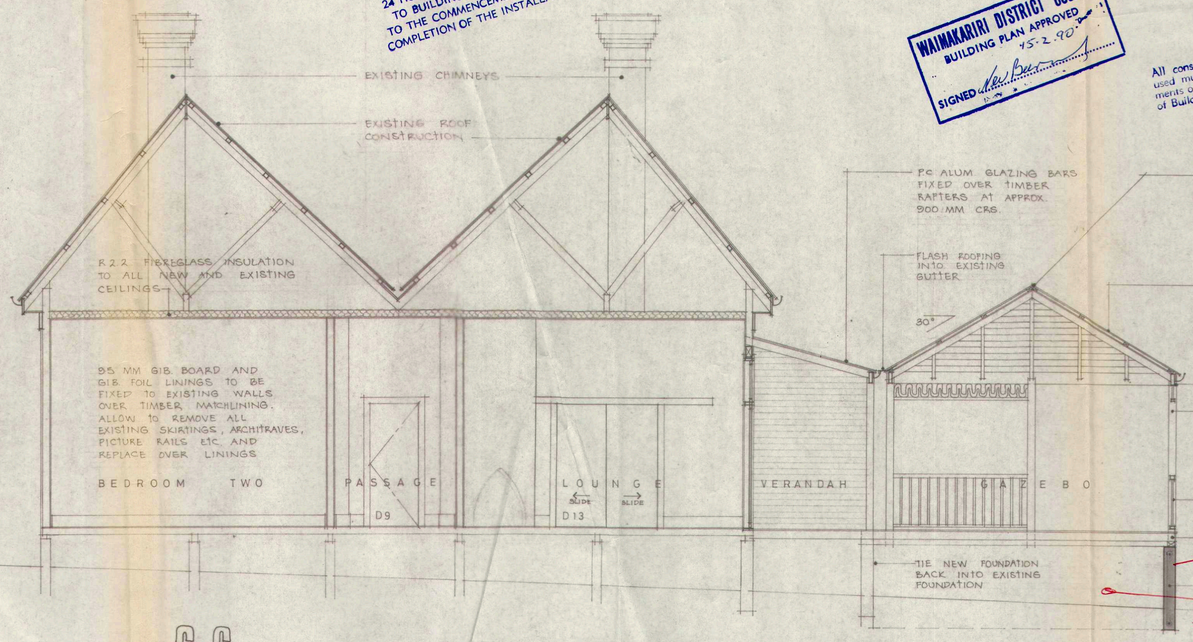

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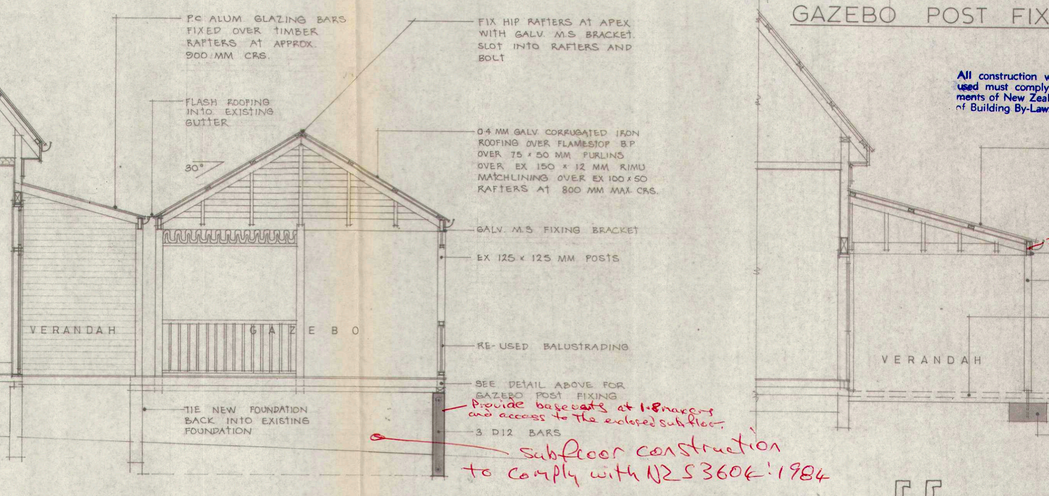
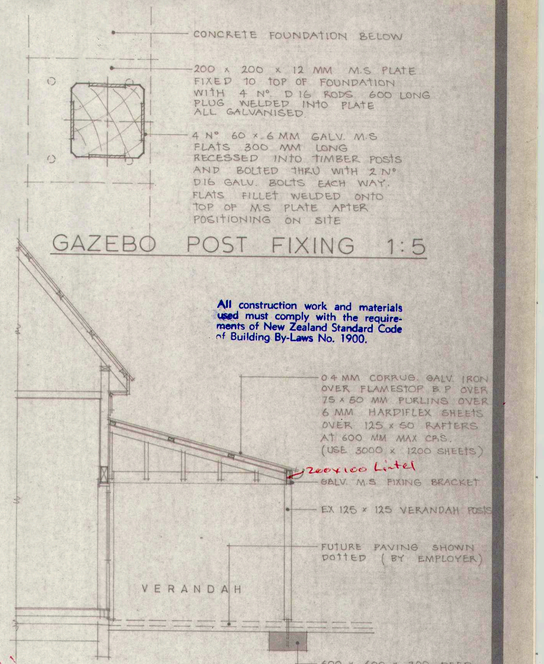


All construction work and materials used must comply with the requirements of New Zealand Standard Code of Building By-Laws No. 1900.

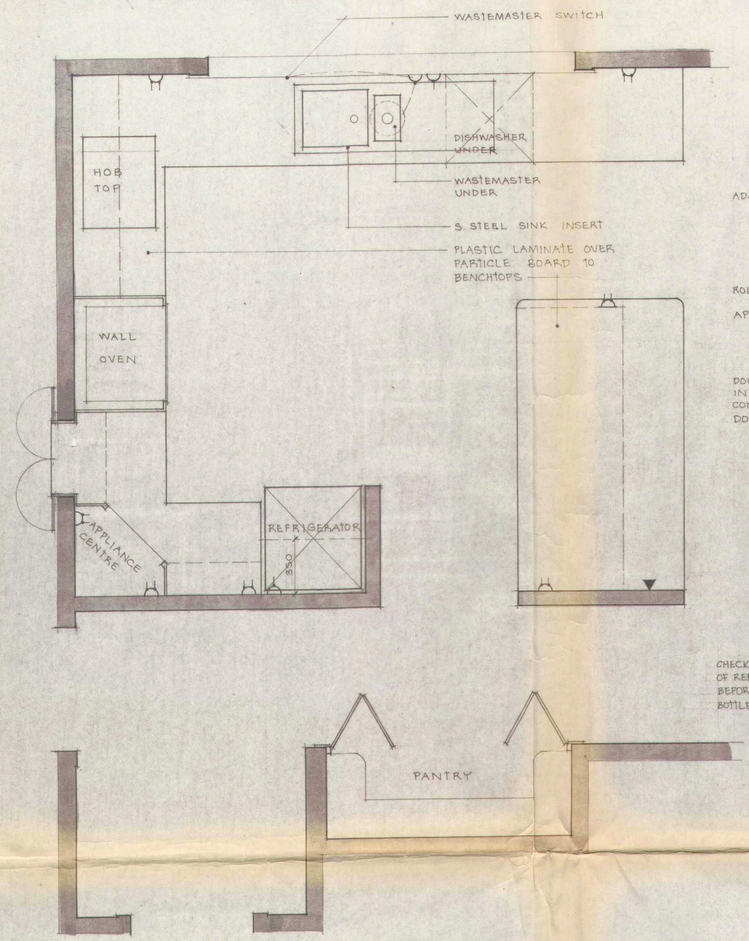


GAZEBO POST FIXING 1:5

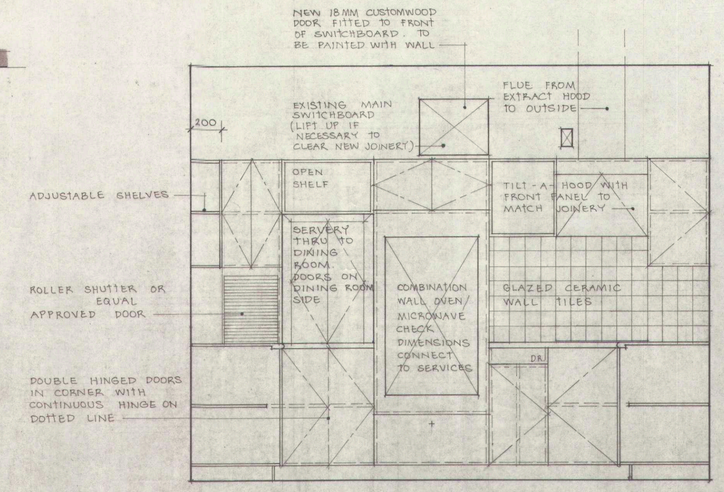
All construction work and materials used must comply with the requirements of New Zealand Standard Code of Building By-Laws No. 1900.

SECTION EE 1:50

2



KITCHEN PLAN 1:20



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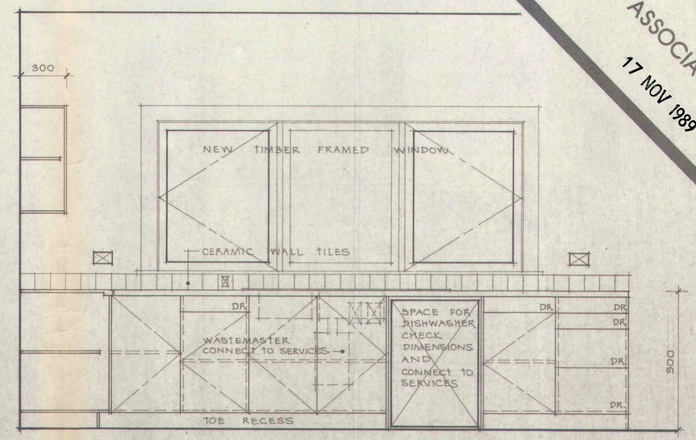

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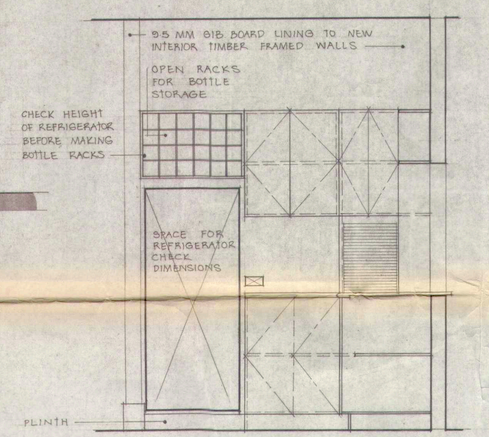

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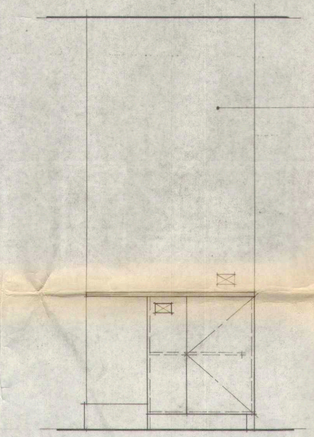

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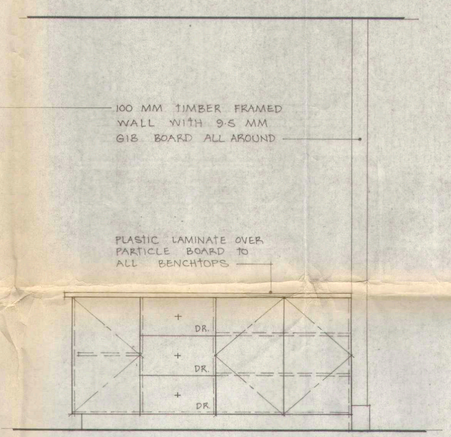

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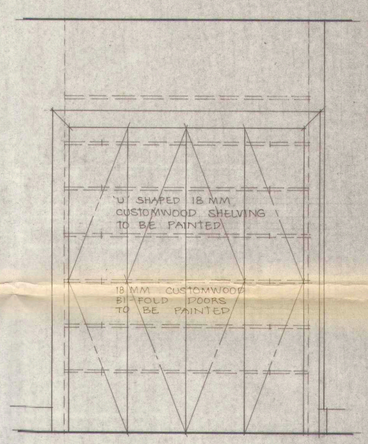
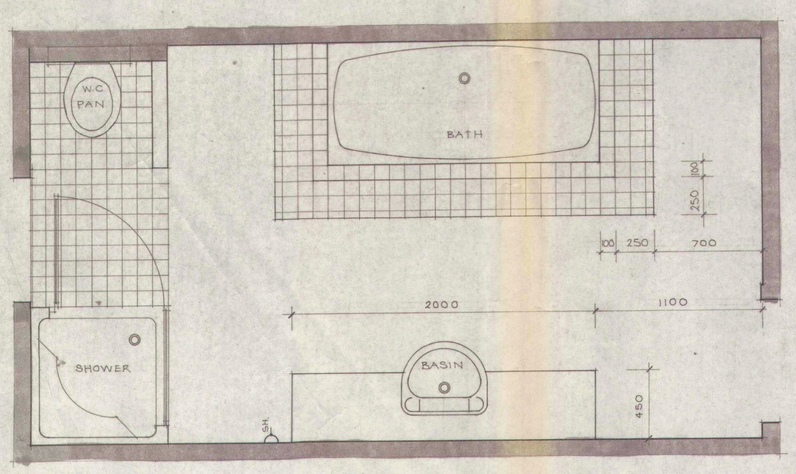
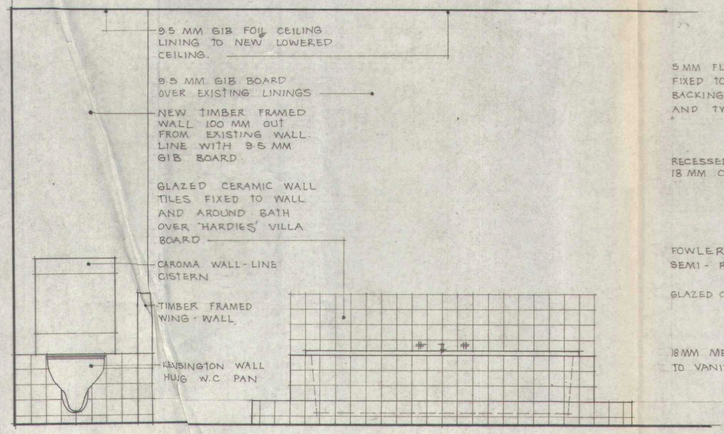


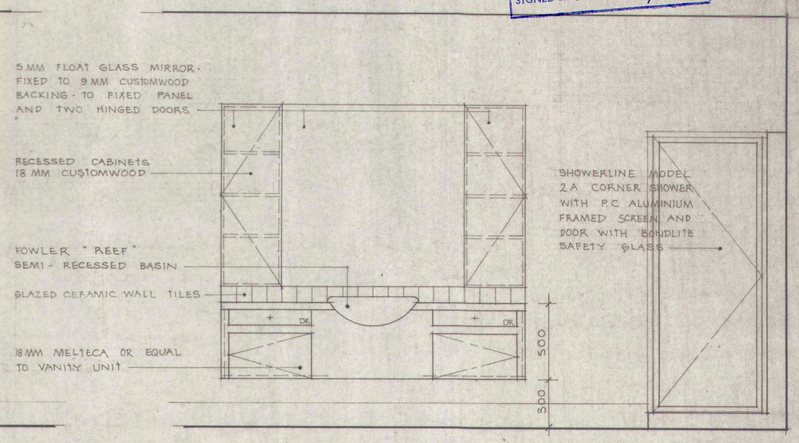
PANTRY



BATHROOM PLAN 1:20



NORTH WEST



SOUTH EAST

WAIMAKARIRI DISTRICT COUNCIL
BUILDING PLAN APPROVED
15.2.90
SIGNED

WILLIS & ASSOCIATES - ARCHITECTS
17 NOV 1989

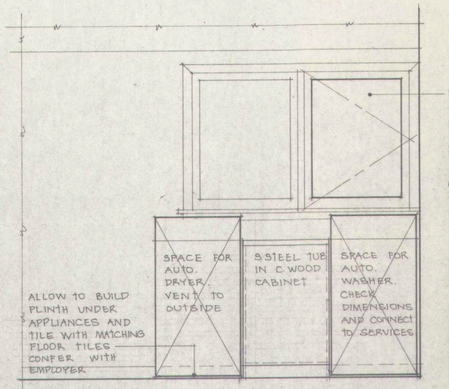
sheet 3
scale 1:20
reference 1285/6/1
drawn by M.D.C
date MAY 89 checked by
all dimensions on site and in shop shall be checked before commencing work

3

WILLIS & ASSOCIATES - ARCHITECTS

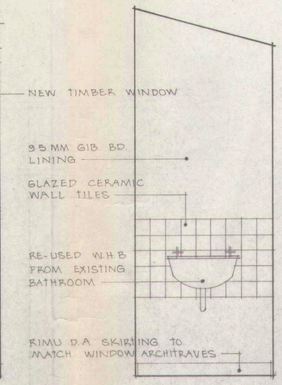
17 NOV 1989

sheet 4
scale 1:20
reference 1285/711
drawn by M.D.C
date JULY 89 checked by
all dimensions on site and in shop shall be checked before commencing work

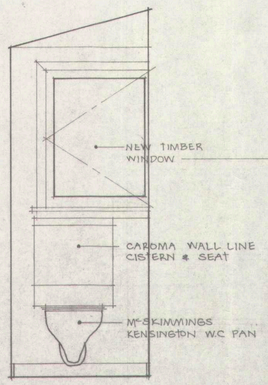


NORTH - WEST

MUD ROOM

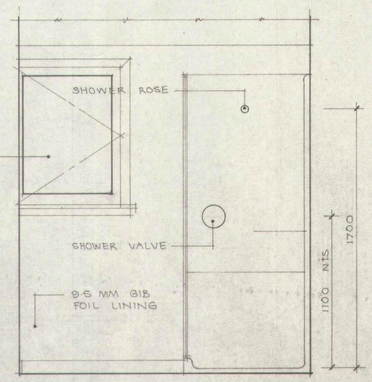


SOUTH - WEST

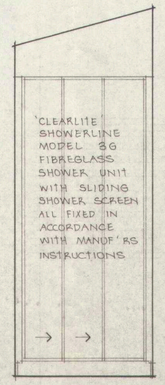


NORTH - EAST

W.C

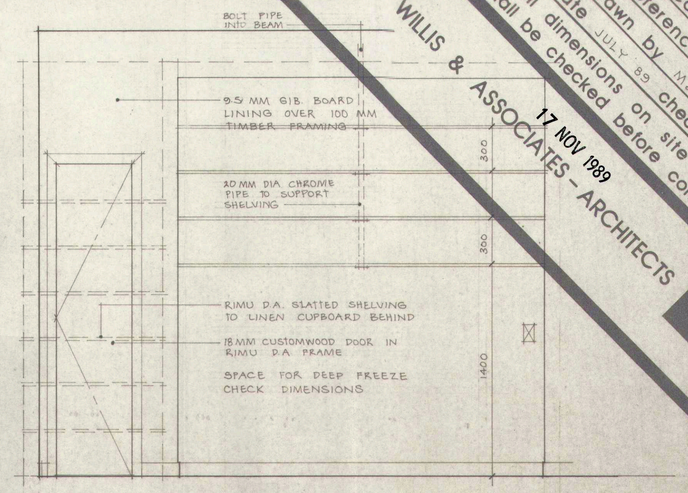


NORTH - EAST



SOUTH - EAST

SHOWER ROOM

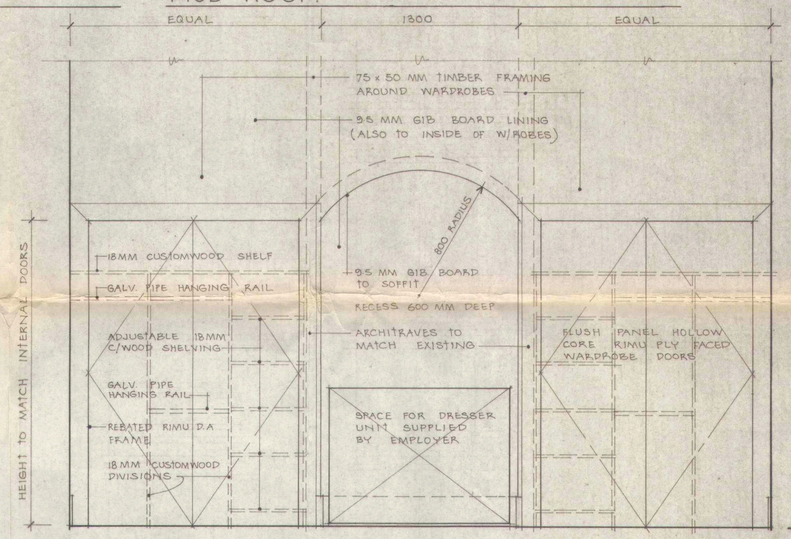


SOUTH EAST

MUD ROOM

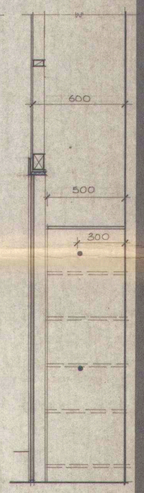
FINISHES SCHEDULE - INTERIOR

ROOM	SURFACE	APPLIED LINING / FINISH	TRIM / FINISH	NOTES
MUD ROOM / W.C	EXTERIOR WALLS	- 9.5 MM GIB FOIL - PAINT FINISH	- SKIRTINGS / ARCHITRAVES - PAINT FINISH	R. 2.0 FIBREGLASS INSULATION INSIDE 100 x 50 FRAMING.
	INTERIOR WALLS	- 9.5 MM GIB BOARD - PAINT FINISH	- DOORS - POLYURETHANED	
	CEILING	9.5 MM GIB FOIL - PAINT FINISH		R. 2.2 FIBREGLASS INSULATION BETWEEN RAFTERS.
	FLOOR	- CERAMIC TILES ON CONC. SLAB WITH FALL TOWARDS FLOOR WASTE		
GARDEN ROOM	EXTERIOR WALLS	- EX 100 x 12 MM RIMU MATCHLINING - PAINT FINISH	- SKIRTINGS / ARCHITRAVES - PAINT FINISH	R 2.0 FIBREGLASS INSULATION & POLYTHENE VAPOUR BARRIER
	INTERIOR WALLS	- EX 100 x 12 MM RIMU MATCHLINING - PAINT FINISH	- DOORS - PAINT FINISH	
	CEILING	- EX 100 x 12 MM RIMU MATCHLINING - PAINT FINISH		R. 2.2 FIBREGLASS INSULATION & POLYTHENE VAPOUR BARRIER
	FLOOR	- CONC. STEP AND NATURAL EARTH		
DINING ROOM	EXTERIOR WALLS	- 9.5 MM GIB. FOIL - PAINT FINISH	- MAKE GOOD TO TIMBER PANELLING AND DADO RAILS WHERE DOORS AND WINDOWS ARE MOVED, WITH RE-USED PANELLING.	FILL WALL CAVITIES WITH 'AIRFOAM' INJECTED FROM INSIDE.
	INTERIOR WALLS	- 9.5 MM GIB. BOARD - PAINT FINISH		
	CEILING	- 9.5 MM GIB. FOIL - PAINT FINISH	- SKIRTINGS / ARCHITRAVES / DADO PANELLING & DOORS - POLYURETHANED	R 2.2 FIBREGLASS INSULATION FITTED INTO EXISTING CEILING
	FLOOR	- EXISTING REMAINS		
KITCHEN / FAMILY / LIVING	EXTERIOR WALLS	- 9.5 MM GIB. FOIL - PAINT FINISH	- SKIRTINGS / ARCHITRAVES - PAINT FINISH TO KITCHEN ONLY	
	INTERIOR WALLS	- 9.5 MM GIB. BOARD - PAINT FINISH	- DOORS - POLYURETHANED	
	CEILING	- 9.5 MM GIB FOIL TO NEW LOWERED CEILING	- SKIRTINGS / ARCHITRAVES - POLYURETHANE TO FAMILY / LIVING ROOMS	
	FLOOR	- EXISTING REMAINS AND EXTEND AS NECESSARY TO ADDITION WITH RE-USED FLOORING		
BATHROOM	EXTERIOR WALLS	- 9.5 MM GIB. FOIL FIXED OVER EXISTING LINING - PAINT FINISH	SKIRTINGS / ARCHITRAVES - PAINT FINISH	FILL WALL CAVITIES WITH 'AIRFOAM' INJECTED FROM INSIDE
	INTERIOR WALLS	- 9.5 MM GIB. BOARD FIXED OVER EXISTING LINING - PAINT FINISH	DOOR - PAINT FINISH	
	CEILING	- 9.5 MM GIB FOIL FIXED TO NEW LOWERED CEILING FRAMING - PAINT FINISH	CERAMIC TILES FIXED OVER 'HARDIES' VILLA BOARD TO WALL AREAS AROUND BATH, AND TO COMPRESSED SHEET TO FLOOR AREAS.	R 2.2 FIBREGLASS INSULATION FITTED INTO NEW LOWERED CEILING
	FLOOR	- EXISTING REMAINS. MAKE GOOD WHERE WALLS HAVE BEEN REMOVED. SEE NOTES →		'HARDIES' COMPRESSED SHEET FIXED UNDER FLOOR TILED AREAS.
LOUNGE	EXTERIOR WALLS	- 9.5 MM GIB. FOIL - PAINT FINISH	SKIRTINGS / ARCHITRAVES - POLYURETHANE	FILL WALL CAVITIES WITH 'AIRFOAM' INJECTED FROM INSIDE
	INTERIOR WALLS	- 9.5 MM GIB. BOARD - PAINT FINISH	DOORS - POLYURETHANE	
	CEILING	- 9.5 MM GIB. FOIL - PAINT FINISH		R 2.2 FIBREGLASS INSULATION FITTED INTO EXISTING CEILING
	FLOOR	- REMOVE EXISTING FLOORING AND REPLACE WITH NEW T&G MACROCARPA (SUPPLIED BY EMPLOYER)		
BEDROOMS	EXTERIOR WALLS	- 9.5 MM GIB. FOIL - PAINT FINISH	SKIRTINGS / ARCHITRAVES - POLYURETHANE	FILL WALL CAVITIES WITH 'AIRFOAM' INJECTED FROM INSIDE
	INTERIOR WALLS	- 9.5 MM GIB. BOARD - PAINT FINISH	DOORS - POLYURETHANE	
	CEILING	- 9.5 MM GIB. FOIL - PAINT FINISH		R 2.2 FIBREGLASS INSULATION FITTED INTO EXISTING CEILING
	FLOOR	- EXISTING REMAINS		

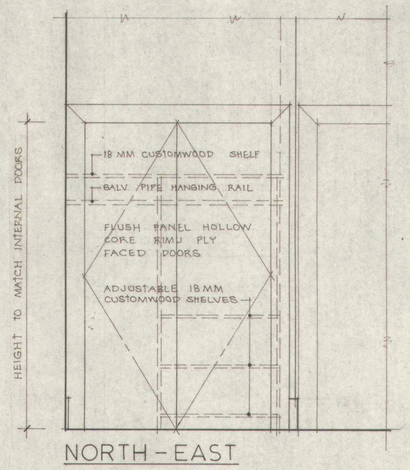


NORTH-WEST

MASTER BEDROOM



SECTION



NORTH - EAST

BEDROOM TWO

BEDROOM THREE SIMILAR

WAIMAKARIRI DISTRICT COUNCIL
BUILDING PLAN APPROVED
15-2-90
SIGNED

4

PLAN OF ALLOTMENT

Showing position of proposed buildings on such allotment

Note—Distances of each building from boundary lines must beclearly indicated.

Indicate position of any sewer lines.

All foundations must be inspected before pouring.

RANGIORA DISTRICT COUNCIL

FEES PAYABLE ON ANY BUILDING PERMIT ACCORDING TO ESTIMATED VALUE OF THE BUILDING WORK

ESTIMATED VALUE OF BUILDING WORK	FEES $ c
Not Exceeding $1,000	8.00
Not Exceeding $1,500	12.00
Not Exceeding $2,000	15.00
Not Exceeding $3,000	20.00
Not Exceeding $4,000	24.00
Not Exceeding $5,000	28.00
Not Exceeding $6,000	32.00
Not Exceeding $8,000	38.00
Not Exceeding $10,000	44.00
Not Exceeding $12,000	48.00
Not Exceeding $14,000	52.00
Not Exceeding $16,000	55.00
Not Exceeding $18,000	60.00
Not Exceeding $20,000	64.00
Not Exceeding $25,000	74.00
Not Exceeding $30,000	80.00
Not Exceeding $35,000	90.00
Not Exceeding $40,000	100.00
Not Exceeding $45,000	110.00
Not Exceeding $50,000	120.00
Not Exceeding $55,000	130.00
Not Exceeding $60,000	140.00
Not Exceeding $70,000	155.00
Not Exceeding $80,000	170.00
Not Exceeding $90,000	185.00
Not Exceeding $100,000	200.00

For every $2,500 or part thereof in excess of $100,000 an additional fee of $15.00.

SPACE HEATER—All installations—minimum fee—$15.00.

Permit condition — 1. Details of water storage tank support system to be submitted to Council for approval prior to construction

2. All defective materials exposed during construction are to be replaced correctly.

3. Septic tank capacity 4000 litres if wastemaster is fitted otherwise 2700 litres

P. O required - letter sent 28/11/89 see file

20.12.89. Awaiting Design Certificate.

25/1/90 Design Cert. rec'd

15.2.90

15.2.90 To issue after applicants signature obtained. 21/2/90

Wilson Bros. Print

Permit No. 114629 £97

Val. Roll No. 2158/25

Builder J.C. GRAHAM (For office use only)

Owner J.C. GRAHAM

RANGIORA COUNTY COUNCIL

BUILDING APPLICATION FORM

Date 20th May 1962

The County Building Inspector,
P.O. Box 9,
RANGIORA.

Dear Sir,

I hereby apply for permission to erect an implement shed at Summerhill on the east side of the Summerhill road a minimum of 20 feet from the road fence & 7 chains from boundary fence with nearest neighbour according to locality plan and detailed plans, elevations, cross sections, and specifications of building deposited herewith, in duplicate.

Particulars of Land : Lot No. ..... on R.S. .....

..... D.P. .....

Length of Boundaries ..... Area .....

Particulars of Building—Foundations : nil

Walls : Iron & or wood Roof : Iron

Area of Ground Floor : 45 x 20 = 900 square feet.

Area of Outbuildings : — square feet.

Estimated Cost—

Building	£ 150
Plumbing and Drainage	£ —
	£ 150

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) :

Implement shed

Proposed use or occupancy of other part of building :

Nature of ground on which building is to be placed and of the subjacent strata :

Yours faithfully,

J. C. Graham Owner.

J. L. Lewis for Builder.

Postal Address : Summerhill
Rangiora RD

WAIMAKARIRI DISTRICT COUNCIL

215 High Street
Private Bag, Rangiora, New Zealand.
Phone (0502) 36136, Fax (0502) 34432.

5/2/

Valuation No:

Mr Thomas

Fax No:

28th November 1989

Mr T. Riley
Main Road
Cust.

Dear Sir/Madam,

PROPOSED BUILDING: R.B Frost, Summerhill, Cust

LOT DEPOSIT PLAN RS. 7842

I acknowledge receipt of your application for a building permit at the above site.

The following additional information is required before the job can be considered further for permit purposes.

I refer to:

Please complete the enclosed Plumbing and Drainage plan.

A design certificate must be supplied for all beams & supports. and also for the structure supporting the water tanks in roof space. and also for gazebo.

Should you wish to discuss the matter please do not hesitate to contact me at this office.

Yours faithfully,

B.E. Thomas
DISTRICT INSPECTOR